

**TOWN OF KENT  
TOWN BOARD MEETING  
Tuesday, February 5, 2019**

**Executive Session** – 6:30 p.m.

to discuss collective negotiations pursuant to article fourteen of the civil service law and the medical, financial, credit or employment history of a particular person or corporation, or matters leading to the appointment, employment, promotion, demotion, discipline, suspension, dismissal or removal of a particular person or corporation.

**Public Hearing** – 7:00 p.m.

Amendments to Property Maintenance code

Amendments to Food Truck law

**Workshop** –

1. Pledge of Allegiance
2. Building Department – discussion of structure at 24-26 Whangtown Rd
3. Highway Department – bond proposal, Highway Law Section 284 agreement
4. Police Department – purchase of 2 new vehicles
5. Lake Tibet – bids for spillway fence
6. Proposed cuts to the Aid & Incentives to Municipalities (AIM) program
7. Announcements
8. Public Comment

**Meeting**

1. Roll Call
2. Vote on the following:
  - a. Approve Police Department purchase of new vehicles
  - b. Accept bid for Lake Tibet spillway fence
  - c. Promotion of Sanitation Laborer to MEO
  - d. Urge Governor & Legislature to continue AIM program
3. Vouchers and Claims
4. Public comment

TOWN OF KENT  
AMENDMENT TO  
CHAPTER 55A OF THE KENT TOWN CODE

BE IT ENACTED by the Town Board of the Town of Kent, Putnam County, New York, as follows:

Section 1. Chapter 55A entitled "Property Maintenance", is amended as follows:

Chapter 55A. Property Maintenance

§ 55A-12 Enforcement.

This chapter shall be enforced by the Code Compliance Officer, Fire Inspector or Building Inspector of the Town of Kent.

A. Notice of Violation.

(1) A notice of violation issued by the Building Inspector relative to a premises shall be served either personally upon the person or entity or by mailing the same to the person or entity by certified mail at his last known address.

(2) A notice of violation shall state that unless, within 10 days from service of the notice, a written request is made for a hearing before the Building Inspector, such notice shall, at the expiration of such ten-day period, be deemed an order to cease and desist from and to abate the described violation; such notice shall prescribe a reasonable time within which such person shall be required to cease and desist from and abate such violation. The notice may also contain an outline of remedial action which, if taken, will effect compliance with this chapter.

(3) If a hearing is requested, it shall be commenced not later than 10 days after the request is made, provided that for good cause the Building Inspector may postpone such hearing for a reasonable time. If, after the hearing, the Building Inspector finds that no violation exists or that such unusual, extraordinary or undue hardship shall occur in order to effectuate compliance with this chapter, he shall withdraw the notice. If he finds that a violation does exist, he shall forthwith issue an order requiring the abatement of the same within a prescribed reasonable time. The proceedings at such hearing, which shall be informal in all respects, shall be summarized in a report reduced to writing and entered as a matter of public record in the office of the Building Department.

(4) Any party aggrieved by the decision of the Building Inspector may, within five days of said decision, appeal the same to the Zoning Board of Appeals of the Town of Kent by filing the appropriate form.

B. Action upon noncompliance.

(1) Upon the failure, neglect or refusal of any owner, person or agent so notified to properly comply with this chapter within the time period prescribed in the order of the Building

Inspector, or within 10 days from a decision by the Zoning Board of Appeals affirming said order, the Building Inspector is hereby authorized and empowered to correct or cause to be corrected such violation, subject to the approval of the Town Board of the Town of Kent.

(2) When the Town has effected the correction of the violation or has paid for its removal, the actual cost thereof, plus the accrued legal rate of interest per annum from the date of the completion of the work, if not paid by such owner prior thereto, shall be charged to such owner by the Town and such charge shall become due and payable by said owner. Notice of such charge shall be served either personally upon the person or entity or by mailing the same to the person or entity by certified mail at his last known address.

(3) Where the full amount due the Town is not paid by such owner within 20 days after the correction of such violation as provided in Subsection B(1) and (2) above, then the Building Inspector shall maintain in the Building Department records and cause to be filed in the Office of the County Clerk ~~cause to be filed in the office of the Town Clerk~~ a sworn statement showing the cost and expense incurred for the work, the date the work was completed and the location of the property by section, lot and block on which said work was done and the name of the reputed owner thereof. The filing of such sworn statement shall constitute a lien on the property and shall remain in full force and effect for the amount due in principal and interest, plus cost of court, if any, for collection, until final payment has been made. Said costs and expenses shall be collected in the manner fixed by law for the collection of taxes and, further, shall be subject to a delinquent penalty at the legal rate of interest in the event that the same is not paid in full on or before the date the tax bill upon which such charge appears becomes delinquent. Sworn statements filed in accordance with the provisions hereof shall be prima facie evidence that all legal formalities have been complied with and the work has been properly and successfully done and shall be full notice to every person concerned that the amount of the statement, plus interest, constitutes a charge against the property designated and described in the statement and that the same is due and collectible as provided by law.

Section 2. This local law shall take effect immediately.

Dated: January \_\_\_, 2019

BY THE ORDER OF THE TOWN BOARD OF

THE TOWN OF KENT

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TOWN OF KENT  
AMENDMENT TO  
CHAPTER 39B OF THE KENT TOWN CODE

BE IT ENACTED by the Town Board of the Town of Kent, Putnam County, New York, as follows:

Section 1. Chapter 39B of the Kent Town Code entitled "Food Trucks", Section 2 regarding "Permit; fees" is amended as follows:

§ 39B-2. Permit; fees.

- A. No more than one permit shall be issued to any individual or qualifying business entity except as set forth in 39B-2(F) herein.
- B. Such permit shall be issued to an applicant who has completed the requisite application on the prescribed form provided by the Town Clerk, paid the requisite fee(s) and provided such additional information as may be required in the application, including, but not limited to, proof of general liability insurance with limits of liability not less than \$1,000,000 per occurrence; current vehicular registration, inspection and insurance; proof of permission to locate the food truck at the particular location; and, in the case of prepared food sales, a current food vendor's permit issued by the Putnam County Department of Health. The Town of Kent shall be listed as an additional insured on the policy of general liability insurance.
- C. ~~Permits shall be issued on a calendar year basis running from January 1 to December 31 from April 1<sup>st</sup> to March 31<sup>st</sup>. Applications for such permits shall be available to residents or established businesses located within the Town of Kent from November 1 through November 30 of each year for the following year. From December 1 on, applications, to the extent permits are still available, shall be accepted from nonresidents.~~
- D. The annual fee for a food truck permit shall be set by the Town Board and included in the annual fee schedule adopted by the Town Board, as the same may be amended from time to time. Any permit issued after July 1 shall be 1/2 of the annual permit fee and shall run for the balance of the calendar year. Any permit issued to a veteran shall be exempt from the payment of the annual fee. To be exempt from the payment of the requisite permit fee, such veteran shall actually be engaged in the operation of the food truck and shall be present at the location at all times the food truck is in operation.
- E. Food truck permit holders and any employee(s) shall be issued a photographic identification card by the Town of Kent. Such identification shall be maintained on the person of the permit holder and employee at all times that the food truck is in operation and shall be open to the inspection by the Town Code Enforcement Officer.

- F. Secondary permits shall be made available to existing food truck permit holders who wish to provide food vending services on municipally owned properties on a monthly, weekly or daily basis. Such secondary permits shall only be issued to existing food truck permit holders. The fee for such secondary permit shall be set forth in the annual fee schedule, as the same may be amended from time to time.
- G. Notwithstanding the foregoing, any licensed or permitted food truck shall be allowed to operate on private property within the Town at a specific function and at the specific request by such private property owner for the purpose of catering or providing food service for such special function.

Section 2. Chapter 39B of the Kent Town Code entitled “Food Trucks”, Section 3 regarding “Location” is amended as follows:

§ 39B-3. Location.

- A. Except as otherwise provided for herein, a food truck permit shall allow the holder thereof to conduct the business vending food from a specific, stationary location. Such location shall be on private property or within or on a public thoroughfare or right-of-way. No vending or soliciting of food sales shall occur by the permittee at any location within the Town other than that which is declared on the permit.
- B. A permitted location shall be within a commercially zoned area and shall be subject to the prior approval of the Town Code Enforcement Officer to ensure that such location is safe for use by both vehicles and pedestrians.
- C. An applicant for a food truck permit shall provide proof, in writing, signed by the owner of the particular location or, with respect to state, county or other municipal thoroughfares, signed by the authorized permitting authority, that the applicant has permission to park or locate the food truck at that particular location. Such document shall be signed and acknowledged before a notary public.
- ~~D. A permitted location shall have an improved parking area and shall have not less than two parking spaces available for patron use. Such parking spaces must be in addition to any parking spaces that are committed to other uses and/or occupancies that are served by the site as specified in the Town's zoning regulations or as set forth on any current site plan for the location.~~
- E. A permitted location shall not be closer than 500 feet to any existing restaurant, delicatessen, fast food establishment, or other food service establishment (collectively, “food establishment”) during the hours of operation of such existing food establishment without the express written consent of the existing food establishment.
- F. There shall be no outdoor seating or other accommodation for on-site consumption of

food or other vended products. The food truck permit holder shall provide adequate refuse receptacles for patron use and shall provide that refuse deposited therein is removed from the permitted location on a daily basis.

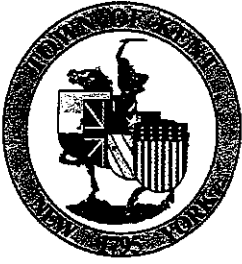
Dated: January \_\_\_\_, 2019

BY THE ORDER OF THE TOWN BOARD OF

THE TOWN OF KENT

[———]      deleted text

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**Town of Kent**  
**Office of the Building Inspector**  
 25 Sybils Crossing  
 Kent Lakes New York 10512  
 845-225-3900

COPY

Dear Mr. Lanfranchi,

I have reviewed the report dated 12/27/19 from M.A.Day Engineering (the "Report"), which you submitted to this office on January 24, 2019. It is my opinion that the Report meets the minimum requirements that are acceptable for a structural report for a portion of the barn structure in questions. The report, however, fails to meet the requirements necessary for the issuance of a building permit.

Numerous items are missing from the Report, which include, but are not limited to, an information regarding the rear section of building where the roof has already collapsed or the condition of the existing concrete block wall with cracked or deteriorated mortar joints.

As I advised you prior to your court appearance on January 24, 2019, if the Report was accepted by me, it needs to be bought back to the Town Board to request that they reverse their determination that the barn structure is unsafe and must be demolished. That meeting is scheduled for February 5, 2019 at 7:00 p.m. sharp. If you fail to appear then the Board will make its decision based upon what is before them, as well as my advice. I will tell you in advance that I plan to recommend to the Town Board that, should they permit you to make repairs, that very strict timelines be imposed upon you in order to avoid any further delay in securing this unsafe structure.

Should the Board reverse their previous determination, you will be authorized to make repairs to the structure once a permit process has been completed. The Stop Work order may be removed to allow you to demolish a portion of the building for safety concerns. The permits process can be found in Chapter 27 of the Town Code at Section 8D. Plans must be submitted which will address the entire building and will require stamped engineering stamp plans. All contractors shall be licensed in Putnam County and insured. Any electrical work must be performed by a licensed electrical contractor.

Respectfully

William Walters  
 Building Inspector

# M. A. Day Engineering, PC

COPY

3 Van Wyck Lane

Suite 2

Wappingers Falls, New York 12590


Phone: 845-223-3202

December 27, 2018

Mr. George Lanfranchi  
PO Box 202  
Carmel, New York 10512

Re: Structural Inspection  
Existing Barn  
24 Whangtown Road  
Town of Kent, Putnam County, New York

RECEIVED  
1-24-19

Bv  


Mr. Lanfranchi,

Pursuant to your request I made a site inspection of the barn located at 24 Whangtown Road in the Town of Kent, Putnam County, New York, earlier today. The purpose of my inspection was to offer my opinion with respect to the repair of the existing structure. Based on my opinion, I offer the following:

## **General:**

The existing barn is a timber-framed wood structure which has been constructed circa 1890. The existing header over the entrance has failed. The existing rafters have dropped due to the failed header.

A new pressure treated column has been added in the center span of the header. A sonotube footing was added under the new pressure-treated post. The new post is being used to support the existing roof structure.

## **Recommendations:**

Based on my review of the structure, it is my opinion that the new header can be replaced with a new header of (3) 1-3/4"x1-7/8" which will be supported by the two existing columns and the new center column. The new LVL header should be connected to the new columns using "TimberLOK" 3/8" diameter lag screws.

The column on the right side of the entrance will need to be reinforced using a P.T. 8x8 column installed adjacent to and connected to existing wood column. The new column should be pre-drilled and lag screwed to the existing wood column.

The existing rafters will need to be shored back to the original elevation once the new LVL header is installed. The existing rafters will need to be "sistered" with a 2x4 on each side of the existing rafter to supplement the existing rafters. The new 2x4's should be glued

and screwed together with 3/8" diameter lag screws. The newly reinforced rafters should be connected to the new LVL header using "TimberLOK" lag screws from the top of the rafter to the new LVL header.

Once the repairs as outlined herein are made, plywood sheathing (T-111) should be installed on the exterior of the barn where repairs are made.

Metal strapping should be installed where the existing knee bracing are damage or need to be renewed.

In my opinion, the repairs outlined herein will stabilize the existing structure.

Please feel free to contact me if you have any questions about the information provided herein.

Very truly yours,



Mark A. Day, P.E.

Missing roof plywood & shingles  
NO MENTION OF REAR CONCRETE SECTION IN REAR

## HOGAN & ROSSI

### Attorneys At Law

3 Starr Ridge Road - Suite 200  
Brewster, New York 10509

Telephone: (845) 279-2986  
Facsimile: (845) 279-6425  
(845) 278-6135

### Of Counsel

Charles J. Acker  
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John J. Hogan  
Donald M. Rossi  
David Simon  
Michael T. Liguori\*  
Jamie S. Spillane\*\*  
Sean H. Lewis

\* Admitted in CT

\*\* Admitted in NJ

November 9, 2018

George LaFranchi  
24-26 Whangtown Road  
Carmel, New York 10512

Re: Unsafe Building  
24-26 Whangtown Road

Dear Mr. LaFranchi:

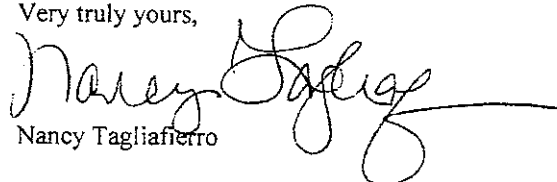
As you know this firm represents the Town of Kent. I am writing to confirm the substance of our telephone discussion earlier today regarding the barn on your property which has been determined to be an unsafe building by the Town Board.

First, I want to strongly reiterate that I am confident that the Town Board and the Building Inspector complied with the Town Code in all respects regarding to this matter. My previous letter to you outlined the errors in your interpretation of the Town Code and I will not address them here.

Demolition of an unsafe structure by the Town is a last resort and only ordered to safeguard the health safety and welfare of all residents and visitors to the Town of Kent. You have received numerous communications from the Town to make repairs to the barn over the years, all of which have gone unheeded. Despite that, we recognize your most recent efforts to stop the demolition of the barn as sincere efforts – albeit long overdue – to preserve the barn. For that reason, the Building Inspector and Town Board have agreed to give you an opportunity to submit an engineering report evidencing that the barn can safely be repaired. If you deliver such a report from a reputable engineer to the Building Inspector within thirty days from today, the Building Inspector will issue a building permit to repair the barn<sup>1</sup>.

If you are not able to provide the report within thirty days, you may ask for additional time to do so, but the Town Board and Building Inspector reserve their right to deny additional time for any reason, including but not limited to a failure on your part to actively obtain an engineering report or complaints from neighbors about the health, safety and welfare of the neighborhood.

Very truly yours,

  
Nancy Tagliafierro

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<sup>1</sup> All other requirements for issuance of a building permit must also be complied with.

Count 11/24/18

YOLANDA CAPPELLI  
*Town Clerk*



Lauren Louderback  
*Deputy Town Clerk*

Lucy Pirro  
*Deputy Town Clerk*

**Town Clerk's Office  
Town of Kent**

**RESOLUTION**

**Resolution #384 -Authorizing Correction of Violation, Acceptance of Proposal & Charge to Property  
Owner Tax Map #11.20—1-36**

On a motion by Councilwoman Woolley  
Seconded by Supervisor Fleming

**WHEREAS**, the Code Enforcement Officer of the Town of Kent issued an Order to Remedy a Violation dated June 28, 2018 (the "Order to Remedy") directing the owner to remove the unsafe structures on the premises identified as 24-26 Whangtown Road, Kent, New York, Tax Map 11.20-1-36 (the "Property"); and

**WHEREAS**, pursuant to Town Code Chapter 29, having had no response from the Owner, the Building Inspector advised the Town Board of the unsafe structure and the Board directed a Notice to be served at the last known address of the Owner advising the Owner that corrective measures must be begun within thirty days of service of the Notice; and

**WHEREAS**, the Notice was personally delivered to the last known address of the Owner of the Property on September 25, 2018, and to date, the Owner of the Property has made no efforts to correct the violation; and

**WHEREAS**, public hearing was held on this matter on October 2, 2018; and

**WHEREAS**, pursuant to Chapter 29 of the Town Code of the Town of Kent regarding "Buildings, Unsafe", following a public hearing, upon the failure of any owner to comply, the Building Inspector is authorized to correct a violation subject to the approval of the Town Board; and the Town Board wishes to authorize the Building Inspector to correct the violation; and

**WHEREAS**, consistent with the Town's Procurement Policy, the Town of Kent requested written proposals from contractors to correct the violation on the Property and received quotes in response to the request for, copies of which are annexed hereto and incorporated by reference; and

**WHEREAS**, Hickory Homes and Properties Inc. has submitted the lowest bid to remove the unsafe structures on the Property at a cost of \$11,175; and

**WHEREAS**, the Town Board of the Town of Kent wishes to accept the proposal submitted by Hickory Homes and Properties Inc. in the amount of \$ 11,175;

**NOW, THEREFORE, BE IT RESOLVED**, that the Town Board of the Town of Kent hereby accepts the proposal of Hickory Homes and Properties Inc. for the removal of the unsafe structure on the Property; and

**FURTHER RESOLVED**, that the actual cost of the correction of the violation, plus the accrued legal rate of interest from the date of completion of the work, shall be assessed and levied against the Property and collected by the Town in accordance with Chapter 29-10.  
Roll Call:

Councilman Denbaum asked the board to allow Mr. Lafranchi an opportunity to speak.

Mr. Lafranchi said he was before the board on the 2<sup>nd</sup> of October he had someone come out to look at it and is waiting for them to give him the final bill as to what it will be. He wants to fix the property, he came here last month he does not know why it is unsafe, because he hasn't done anything to it, and he said it is going to fall eventually but he intends to fix it before it falls. He said it was built approximately in 1840 he did some research on it and asked the board if they wanted to look at it. He said the ownership goes back before it was the Town of Kent. He would like to keep the barn and rehabilitate it. In the notice it was stated there was mice and rats, there are no mice there are no rats. He said the Building Inspector stated they would be on the inside, he asked if he ever went on the inside. Building Inspector Walters replied due to the unsafe condition he would not go into the inside. He said also in that notice it states that the building is structurally unsound, which you failed to mention. Mr. Lafranchi acknowledged that it might be unsound; he did not know when it would collapse. His contention is he will have it fixed before it will collapse; he wants the chance to fix the property. He is trying to get a loan to get it fixed; he will erect a construction fence around the barn if the board wants. He said no one goes into the barn except for him. He did not understand the hurry to have this taken down, he knows some people do not like the way it looks, he apologized, he said the recent hurricane blew the siding off before that nobody said anything. He asked what makes the building a fire hazard more than any other building made of wood, he has received no answer. If it was a fire hazard someone would have to commit arson, he does not see that happening though a possibility. He said charges are being added that do not exist. Supervisor Fleming pointed out he was issued an order to remedy the violation on June 28<sup>th</sup>, there was no communication with the Building Inspector or Code Enforcement Officer in the intervening months about your plans to do anything. She said when you came before the board on the 2<sup>nd</sup> you asked a decision not be made and in the intervening weeks again there has been no communication making this safe, taking it down. She said there was a hearing at 7:00 p.m. this evening as announced. Mr. Lafranchi said he went home to change his clothing from work and came at 7:25 p.m. he did not know it would be the first thing discussed. Councilwoman Woolley went by the barn, to her it is unsafe, you mention you have no money to repair it, she said some people are interested in the wood in the old barns and suggested contacted them, they might be able to take it down at no cost and pay you for the wood. She does not see the building as safe and if the board votes to have it taken down maybe you should look into that and make money on it. Mr. Lafranchi understood but wants a chance to get it repaired; it doesn't need as much work as it looks from the outside. He said it is more sound than it looks, he wants a chance to fix it up. He said once something that's old is gone, you cannot revive history. He has owned it 23 years and is breaking even. Councilman Huestis said for the record he said in 2015 you were before the board for the removal of a shed behind the barn and recalls the building inspector advising you that this would be next to take care of it. It has been three years, it is in total disrepair it is not structurally safe and needs to come down. Mr. Lafranchi said he had to do renovations on the main house, if he could he would write a check. Supervisor Fleming said the board's job is to assure the

that it is by a bus stop. He asked how he appeals it. Councilman Denbaum said they haven't voted but explained if voted in the affirmative you should retain counsel, they would move the appropriate court to make the injunctive relief.

**Poll Vote:**

Councilman Denbaum – does not like this and has a procedural concern, we do have it on as a public hearing, typically we do not vote it, it does not give a tremendous amount of notice when it doesn't say we are going to take a vote on it especially when it deals with someone's property interest. He appreciates all of the comments of the building inspector and his colleagues. He knows that they are all wanting to do the right thing and make the neighborhood safe and make it not unattractive nightmare and understands all that, something about any government whether it being a town board causing a person's property to be taken from them to him his one of the most delicate decisions they make property rights are at the core of their liberty, it is what it is all about there is no government here for not simply protecting property rights he thinks before us is a policy decision and it is a wise policy decision and Bill is right about the policy decision, it should come down for policy reasons, children, he firmly believes a really good policy decision is not enough to take somebody's right to their private property, with a heavy heart, it doesn't feel right and voted nay, it's just what he believes more than disagreeing with anyone here in what they think is accurate.

Councilwoman McGlasson – aye

Councilman Huestis – aye

Councilwoman Woolley – aye

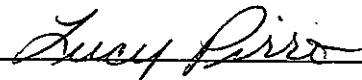
Supervisor Fleming – aye

Motion carried

Mr. Lafranchi asked if he will be notified. Building Inspector Walters explained according to the bid there is no start date but he can contact the bidder.

I Lucy Pirro, Deputy Town Clerk of the Town of Kent, do hereby certify that the above is true and exact copy of a resolution adopted by the town board of the Town of Kent at a meeting of said board on, October 23, 2018.

February 4<sup>th</sup>, 2019



Lucy Pirro, Deputy Town Clerk



**Town of Kent Highway Department**  
*Richard T. Othmer, Jr., Highway Superintendent*  
 62 Ludington Court  
 Kent Lakes, New York 10512  
 (845) 225-7172 Fax (845) 225-9464  
 E-mail: [rothmer@townofkentny.gov](mailto:rothmer@townofkentny.gov)

## MEMORANDUM

**Date:** January 20, 2019

**To:** Maureen Fleming, Town Supervisor, Honorable Members of the Town Board

**From:** Richard T. Othmer Jr, Highway Superintendent

**Subject:** Distribution of 2019 1.5 Million Highway Bond

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Honorable Supervisor Fleming & Members of the Board;

First, I want to thank you all for agreeing to bond the much needed money for highway construction projects and capital improvements. Without this commitment from the Board and this Department to the taxpaying residents of Kent, the infrastructure of this Town would continue to spiral down to the point of no return. It costs ten times more to rebuild a neglected and destroyed road from scratch than to responsibly maintain it in a timely manner. In order to extract the thirty year life span we should be getting out of our investment, we must follow proven industry standards.

Secondly, I want to thank you for supporting the much needed modernization of our fleet. I am sure you remember when the majority of this administration took over; the AVERAGE age of our trucks was sixteen years old. We are aggressively and competently, completing multiple jobs and projects that have been ignored either due to of the lack of funding or the proper equipment needed to do so for years.

The Highway Department works together to meet the needs of our Town, as well as track costs in order to constantly analyze & adjust our strategy in order to keep costs down while maintaining property, roads & equipment. Capital funding is a major factor in enabling our Department to get ahead on vital infrastructure upgrades. I truly believe that despite our differences, we will all be able to proudly look back on our time together in this administration as the period of the "Kent Infrastructure Renaissance"

Following is the breakdown of the 1.5 million Highway Bond projects. Also attached, is a detailed list of the individual sections for your review. I am coordinating with my office staff and the Town Finance Officer, Yulia Kelly, in keeping proper and accurate records in order to responsibly track the projects.

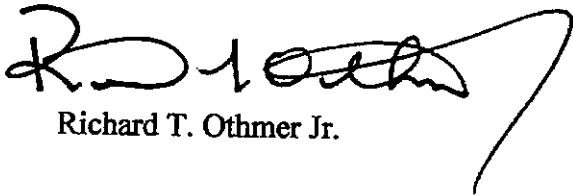
1) Capital Drainage	\$100,000.00
2) Capital Tree Removal	\$100,000.00
3) Capital Facilities Upgrade	\$60,000.00
4) Capital Paving	\$1,240,000.00

These figures are 90% accurate. The cost of oil will directly affect the paving projects. As the different job costing sections come in above and below estimates, budget lines will be adjusted accordingly. However, all expenditures will remain in one of the above four bonded sections.

Please let me know if the bonding company requires anything else. Yulia Kelly has researched what is needed & has briefed me so I believe we are OK

Thank you for your support in this matter. I am available for any questions you might have at any time. The sooner we secure the bond the better so road clearing and widening operations can commence right away preparing for the spring paving season. Attached, please find the schedule of the master infrastructure plan for 2019.

Sincerely;

A handwritten signature in black ink, appearing to read "Richard T. Othmer Jr.", with a long, sweeping flourish extending to the right.

Richard T. Othmer Jr.

## **Section One Capital Drainage**

Capital drainage projects will include town wide culvert pipe and catch basin replacement. Plastic pipe with 100 year life span will replace existing galvanized steel which in most cases have already rotted out, caved in and are not functioning as originally designed. Additionally ditches will be cleaned and swales will be repaired. Rock ledge hammering and removal will be conducted where necessary in this phase. A lot of focus will be in Lake Carmel where wide open dangerous ditches need to be piped and covered over. This will alleviate much of the ice damming during winter months and widen the narrow roads somewhat.

## **Section Two Tree Removal**

The paving projects will require extensive tree removal within the Town's "Right of Way" in order to widen the roads. Our in house tree crew will be working full time on this. However, there are many trees that are too tall or extremely complicated for our bucket truck & crew. These trees will be assigned to our licensed tree contractor bid winner whose logging truck will enable them to remove these large stumps & logs from the site to his own facility. This will additionally save the town money being that it will reduce the amount of debris we will have to tub grind up at our land fill site at the end of the year. We still have some complaints of dangerous trees that are more than a year old that we have not been able to get to, either because of their size or time and weather. This boost will alleviate a lot of problems and release us from risk which I am required to act within 30 days once notified. Kent is a town of rocks, water and trees.

## **Section Three Capital Facilities Upgrade**

This allotment is to construct the roof over the four concrete material bins. Stamped architectural / structural engineering drawings are attached in this report. This is to protect raw salt deliveries and millings from the weather which causes them to clump and make them extremely difficult to work with. Additionally, it will enable us to store & protect summer equipment from the weather during the winter months thus extending their workable life span.

## **Section Four Capital Paving Projects**

Attached, please find the intended schedule of roads to be paved in this bonding cycle, possibly & hopefully all in 2019. Tree removal & drainage will be completed first, followed by road widening where necessary and then paved. I will group these projects into three phases. Phase one are artery roads used by everyone. Phase two roads are selected roads in neighborhoods that have degenerated into dangerous conditions. Phase three roads are Lake Carmel roads similar to the phase two roads. I have estimated my funds to the last penny & success depends on oil prices, the absence of unforeseen obstacles such as rock ledge & underground springs and frugal construction budget management & job costing. I have a good feeling for 2019.



PHASE 1

**Town of Kent Highway Department**  
62 Ludington Court  
Kent Lakes, NY 10512  
(845) 225-7172 - Fax (845) 225-9464  
email - [highwaykent@townofkentny.gov](mailto:highwaykent@townofkentny.gov)  
Richard T. Othmer, Jr. - Highway Superintendent

Road	Length	Tons	Total Cost
Dean Road	5122' - .97	1691	\$ 158,293.90
Miller Hill	5280' - 1	1899	\$ 181,041.17
Horsepound	5280' - 1	1899	\$ 181,041.17
Mooney Hill	7846' - 1.49	2631	\$ 255,917.00
Dixon	4100' - .78	1691	\$ 135,021.00

TOTAL \$ 911,314.24



PHASE 2

**Town of Kent Highway Department**  
62 Ludington Court  
Kent Lakes, NY 10512  
(845) 225-7172 - Fax (845) 225-9464  
email - [highwaykent@townofkentny.gov](mailto:highwaykent@townofkentny.gov)  
Richard T. Othmer, Jr. - Highway Superintendent

Road	Length	Tons	Total Cost
Westleigh	475' - .09	266	\$ 24,711.00
Manchester	1373' - .26	533	\$ 51,373.00
Deer Hill	2623 - .51	705	\$ 65,494.00
Rambler	1901' - .36	634	\$ 57,030.00
Will Way	1954' - .37	651	\$ 58,620.00
Whangtown	4383' - .83	1075	\$ 120,750.00
Schrade Court	422' - .08	141	\$ 10,550.00

TOTAL \$ 388,528.00



PHASE 3

**Town of Kent Highway Department**  
62 Ludington Court  
Kent Lakes, NY 10512  
(845) 225-7172 - Fax (845) 225-9464  
email - [highwaykent@townofkentny.gov](mailto:highwaykent@townofkentny.gov)  
Richard T. Othmer, Jr. - Highway Superintendent

Road	Length	Tons	Total Cost
Mt. Hope (Part I to Sunset)	960' - .19	320	\$ 22,080.00
Barrett Hill (Rear)	1462' - .28	487	\$ 33,626.00
Geneva (Livingston-Chappaqua)	720' - .14	240	\$ 16,560.00
Knollcrest II (Putnam-Longfellow)	672' - .13	224	\$ 15,456.00
Montrose to Woodland (Top)	2114' - .4	705	\$ 48,622.00
Scarsdale to Hartsdale- East Side	692' - .13	231	\$ 15,916.00
Walden (Vernon to Concord)	710' - .14	237	\$ 16,330.00
Tea Town Court	581' - .11	194	\$ 13,363.00
Ridgeway	1003' - .19	334	\$ 23,069.00
Worthington Court	1690' - .32	563	\$ 38,870.00

TOTAL \$ 243,892.00



***Town of Kent Highway Department***  
***62 Ludington Court***  
***Kent Lakes, NY 10512***  
***(845) 225-7172 - Fax (845) 225-9464***  
***email - highwaykent@townofkentny.gov***  
***Richard T. Othmer, Jr. - Highway Superintendent***

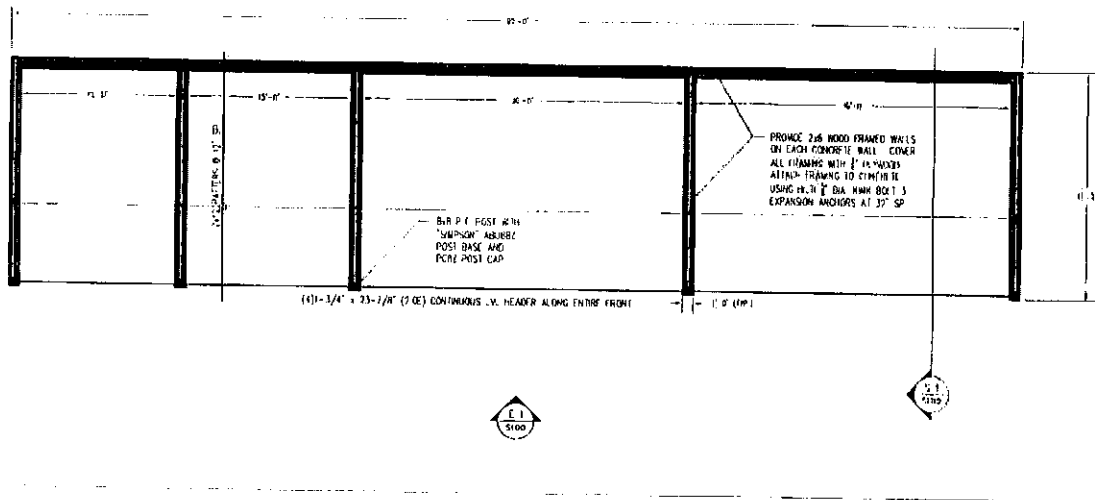
## **MATERIAL STORAGE BIN EXPANSION ROOF SPECIFICATION**

**Kent Highway Department - 311 Garage**  
**62 Ludington Court**

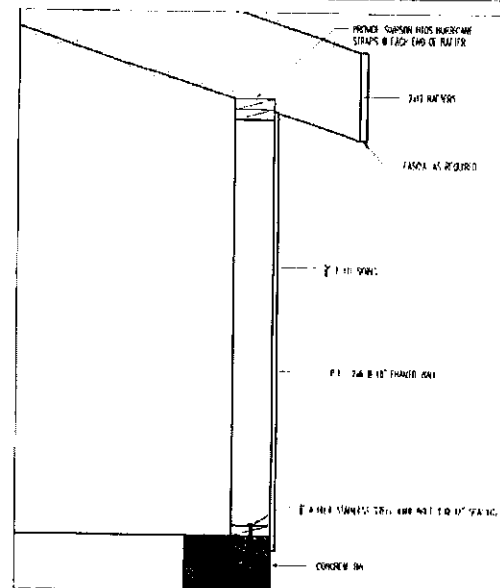
**Bids for erecting a wooden roof structure over the existing and new expanded material bins as per the attached specifications:**

- Pricing for Labor only**
- Contractor to provide all tools and equipment**
- Contractor to provide Material List**

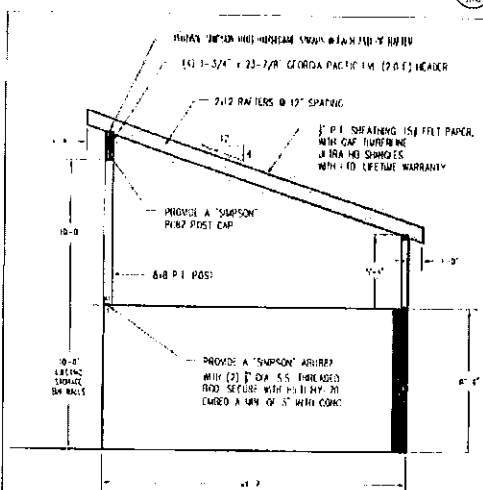
**Kent Highway will supply all the lumber and material necessary to construct roof**



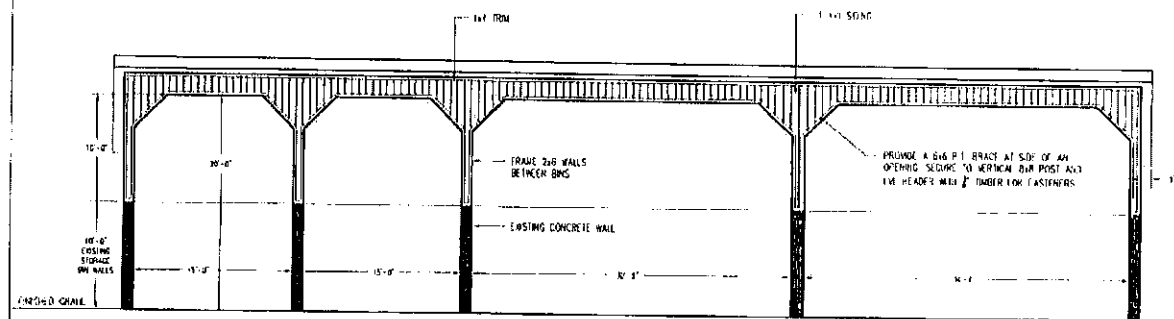
5.1 STORAGE BIN - ROOF FRAMING PLAN  
SCALE: 1/8" = 1'-0"



5.2 FRAMING CONNECTION DETAIL  
SCALE: 1/2" = 1'-0"



5.3 STORAGE BIN - SECTION VIEW  
SCALE: 1/2" = 1'-0"



5.4 STORAGE BIN - FRONT ELEVATION  
SCALE: 1/2" = 1'-0"

NOTES:  
ALL LUMBER IS TO BE PRESSURE  
TREATED  
USE STAINLESS STEEL FASTENERS  
FOR ALL FRAMING

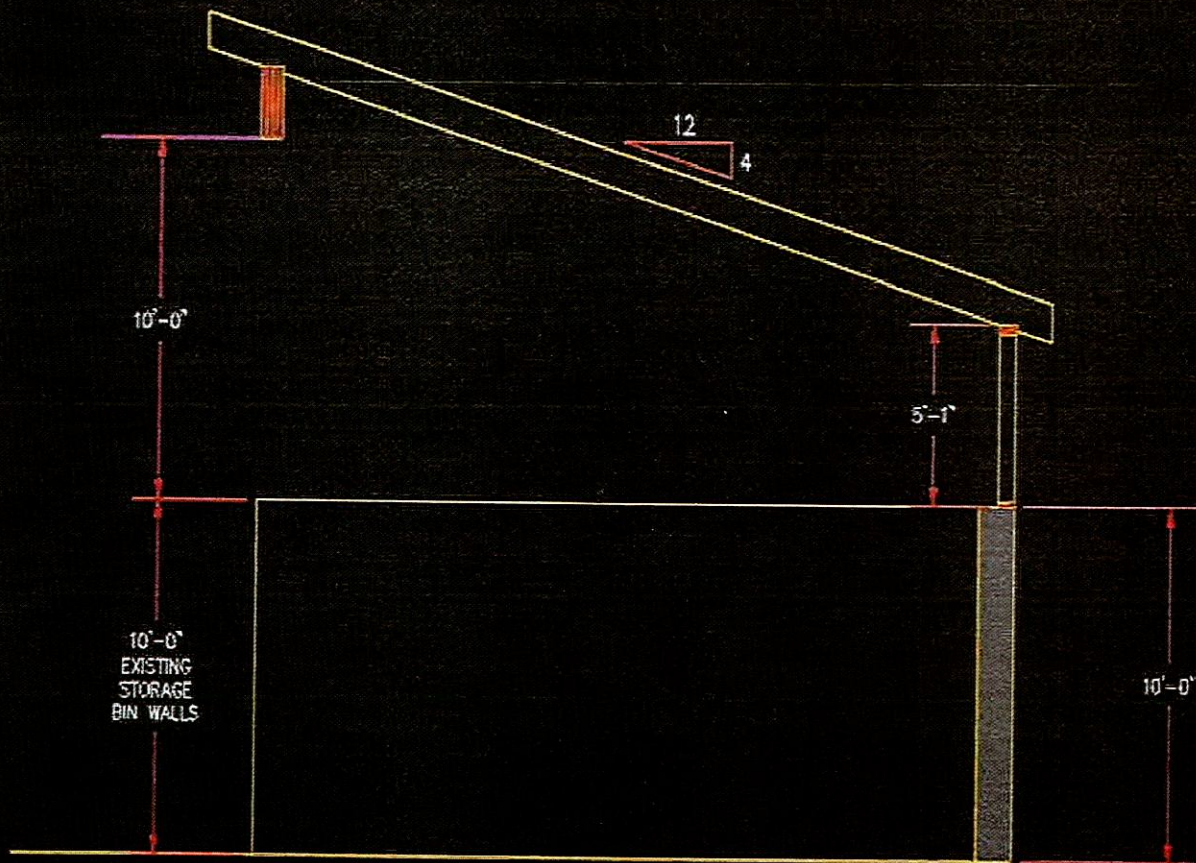
M.A. DAY Engineering, PC

1000 Kent Road  
Kent, Ohio 44204  
(440) 225-1200

Town of Kent - Highway Dept.

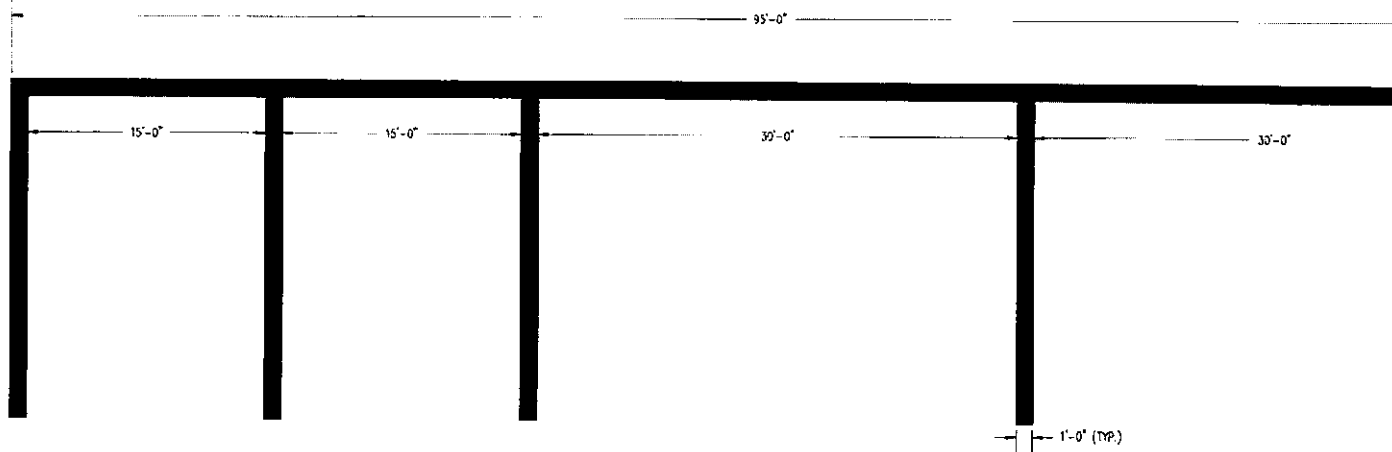
Storage Bin Expansion

As Noted	AND	S100
As Shown	AND	

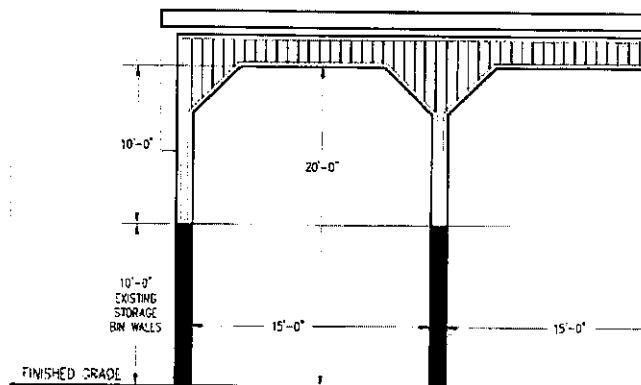
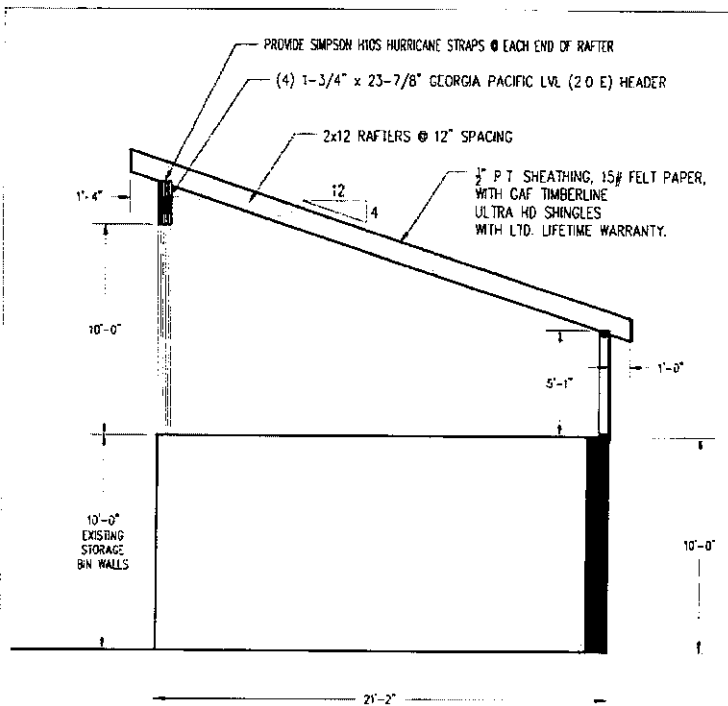


D.2 STORAGE BIN - SECTION VIEW  
S100 SCALE: 1/4" = 1'-0"





**3.1 STORAGE BIN - PLAN VIEW**  
 SCALE: 3/16" = 1'-0"



**S.1 STORAGE BIN - SECTION VIEW**  
 SCALE: 1/4" = 1'-0"

Chapters 1-8

**Highway**

§ 284. Expenditures for repair and improvement of highways. The moneys levied and collected for the repair and improvement of highways, including sluices, culverts and bridges having a span of less than five feet and boardwalks or renewals thereof, the moneys received from the state, as provided by sections two hundred seventy-nine and two hundred eighty-two, and such other moneys as the town board, by resolution, shall have transferred pursuant to section one hundred thirteen of the town law or pursuant to section two hundred eighty-five-a of this chapter shall be expended for the repair and improvement of such highways, sluices, culverts, and bridges and walks, at such places and in such manner as may be agreed upon by the town board and the town superintendent of highways. Such agreement shall be written and signed in duplicate by a majority of the members of the town board, and by the town superintendent, before the same shall take effect. One of such duplicates shall be filed in the office of the town clerk and one in the office of the county superintendent. Such moneys shall be paid out by the supervisor on vouchers approved by the town superintendent in accordance with such written agreement.

The town board and town superintendent may also appropriate from such moneys such a sum of money as they deem proper for the construction or repair of any public road, walk, place or avenue upon any sand beach separated by more than two miles of water from the main body of the town or on any island or part of an island in the town, although such road, walk, place or avenue is narrower than the width of highways required by statute, but the construction or repair of any such road, walk, place or avenue with such moneys on any such beach or on any such island or part of an island shall not be construed as imposing any liability upon the town or upon the superintendent of highways for any injury to person or property happening thereon.

## TOOLS

Easy Edit  
Formatted and ready-to-use  
version of the form.

View Full TOC

**Selected Consolidated  
Laws**

**Highway Law**

**Research References**

§ 10 Form 1. Resolution authorizing mayor to enter into agreement with NYSDOT relative to sidewalk construction

§ 30 Form 1. Notice of motion for summary judgment in state's action against condemnee for rental value of property after acquisition for highway purposes

**26B West's McKinney's Forms Highway Law § 284 Form 1**

§ 284 Form 1. Agreement to spend town highway funds  
MCF SELHL § 284 Form 1 West's McKinney's Forms (Approx. 2 pages)  
Selected Consolidated Laws

Highway Law

**§ 284 Form 1. Agreement to spend town highway funds**

Correlation Table | References

**AGREEMENT TO SPEND TOWN HIGHWAY FUNDS**

TOWN OF [NAME OF TOWN]

COUNTY OF [NAME OF COUNTY]

Pursuant to the provisions of Section 284 of the Highway Law, we agree that moneys levied and collected for the repair and improvement of highways, and received from the state for the repair and improvement of highways, shall be expended as follows:

1. GENERAL REPAIRS. The sum of \$[dollar amount of sum] may be expended for general repairs upon [number of miles] miles of town highways, including sluices, culverts and bridges having a span of less than five feet and boardwalks or the renewals thereof.
  
2. IMPROVEMENTS. The following sums shall be set aside to be expended for the improvement of town highways:
  - (a) On the road commencing at [location of commencement] and leading to [location of destination], a distance of [number of miles] miles, there shall be expended not over the sum of \$[dollar amount of maximum sum].
 

Type [specification of type]

Width of traveled surface [specification of width]

Thickness [specification of thickness]

Subbase [specification of subbase]
  
  - (b) On the road commencing at [location of commencement] and leading to [location of destination], a distance of [number of miles]

miles, there shall be expended not over the sum of \$[*dollar amount of maximum sum*].

Type [*specification of type*]

Width of traveled surface [*specification of width*]

Thickness [*specification of thickness*]

Subbase [*specification of subbase*]

No moneys set aside for such improvements shall be expended, nor shall any work be undertaken on such improvements, until the County Superintendent approves the plans, specifications and estimates for such construction.

This agreement shall take effect when it is signed by the County Superintendent of Highways.

Executed in duplicate this [*ordinal number of day*] day of [*name of month*] [*number of year*].

\_\_\_\_\_  
[*Names of officials*]

\_\_\_\_\_  
[*Titles of officials*]

The foregoing Agreement is hereby approved this [*ordinal number of day*] day of [*name of month*] [*number of year*].

\_\_\_\_\_  
[*Name of superintendent*]

County Superintendent of Highways

## Notes

### West's Key Number Digest

- West's Key Number Digest, Highways §99.1

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End of  
Document

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## Selected Consolidated Laws

### Highway Law

#### Research References

§ 10 Form 1. Resolution authorizing mayor to enter into agreement with NYSDOT relative to sidewalk construction

§ 30 Form 1. Notice of motion for summary judgment in state's action against condemnee for rental value of property after acquisition for highway purposes

## Tools and Equipment

3)

with the Town Board on or

[illegible]

	Estimated Cost
	\$
Total	\$

**Town Superintendent**

Pursuant to the provisions of Section 284 of the Highway Law, we agree that moneys levied and collected in the Town for the repair and improvement of highways, and received from the State for State Aid for the repair and improvement of highways, shall be expended as follows:

1. GENERAL REPAIRS. The sum of \$ \_\_\_\_\_ shall be set aside to be expended for primary work and general repairs upon \_\_\_\_\_ miles of town highways, including sluices, culverts and bridges having a span of less than five feet and boardwalks or the renewals thereof.

2. PERMANENT IMPROVEMENTS. The following sums shall be set aside to be expended for the permanent improvement of Town highways:

(a) On the road commencing at \_\_\_\_\_ and leading to \_\_\_\_\_  
a distance of \_\_\_\_\_ miles, there shall be expended not over the sum of \$\_\_\_\_\_.  
Type \_\_\_\_\_ Width of traveled surface \_\_\_\_\_  
Thickness \_\_\_\_\_ Subbase \_\_\_\_\_

(b) On the road commencing at \_\_\_\_\_ and leading to \_\_\_\_\_  
a distance of \_\_\_\_\_ miles, there shall be expended not over the sum of \$ \_\_\_\_\_.  
Type \_\_\_\_\_ Width of traveled surface \_\_\_\_\_  
Thickness \_\_\_\_\_ Subbase \_\_\_\_\_

(c) On the road commencing at \_\_\_\_\_ and leading to \_\_\_\_\_  
a distance of \_\_\_\_\_ miles, there shall be expended not over the sum of \$ \_\_\_\_\_.  
Type \_\_\_\_\_ Width of traveled surface \_\_\_\_\_  
Thickness \_\_\_\_\_ Subbase \_\_\_\_\_

Executed in duplicate this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

Supervisor

**Councilman**

Councilman

**Councilman**

## Councilman

**Councilman**

**Councilman**

**Councilman**

**Town Superintendent**

NOTE: This Agreement should be signed in duplicate by a majority of the members of the Town Board and by the Town Superintendent. Both copies must be approved by the County Superintendent. One copy must be filed in the Town Clerk's office and one in the County Superintendent's office. *COPIES DO NOT HAVE TO BE FILED IN ALBANY.*

# POLICE DEPARTMENT

## Town of Kent

40 SYBIL'S CROSSING, CARMEL, NEW YORK 10512

---

Address All Communications

To: Chief of Police

Emergency: (845) 225-4600

Office: (845) 225-5646

Fax: (845) 306-5288

kentpolice@townofkentny.gov

January 21, 2019


Supervisor Maureen Fleming & Kent Town Board  
Town of Kent Administrative Offices  
25 Sybil's Crossing  
Kent Lakes, New York 10512

Dear Supervisor Fleming & Kent Town Board:

In 2019 the Police Department is budgeted for 2 new patrol vehicles. When we place the order for these vehicles it often takes months before they are delivered. I respectfully request the Town Board authorize me to purchase 1 of these vehicles at the next Town Board meeting with the anticipation of receiving it sometime in early 2019.

Attached is a quote from Beyer Ford. The cost for vehicle is \$42594.88. I would like to take this opportunity to thank the Board in advance.

Respectfully,

  
\_\_\_\_\_  
Chief Kevin Owens

*Serving Our Community 24 Hours A Day*

1/4/2019



## BEYER FORD

170 Ridgedale Ave.  
Morristown, NJ 07936

## Quote

---

To:	From:	Brooks Buxton
		31 Williams Parkway
		East Hanover, NJ 07936
	Phone/Fax:	(973) 319- 7009 / (973) 884-2650

---

### 2019 POLICE UTILITY POLICE INTERCEPTOR AWD

#### STATE OF NEW YORK

#### CONTRACT # PC66676

3.7L V6 Ti-VCT  
Transmission: 6-Speed Automatic  
closing speeds (STD)  
3.65 Axle Ratio (STD)  
Transmission w/Oil Cooler  
Automatic Full-Time All-Wheel Drive  
Engine Oil Cooler  
78-Amp/Hr 750CCA Maintenance-Free Battery  
HD 220 Amp Alternator  
Police/Fire  
GVWR: 6,300 lbs  
Gas-Pressurized Shock Absorbers  
Front And Rear Anti-Roll Bars  
Electric Power-Assist Steering  
18.6 Gal. Fuel Tank  
Dual Stainless Steel Exhaust  
Permanent Locking Hubs  
Strut Front Suspension w/Coil Springs  
Multi-Link Rear Suspension w/Coil Springs  
4-Wheel Disc Brakes w/4-Wheel ABS  
Wheels: 18" x 8" 5-Spoke Painted Black Steel  
Tires: P245/55R18 AS BSW  
Steel Spare Wheel  
Spare Tire Mounted Inside Under Cargo  
Clearcoat Paint  
Body-Colored Front Bumper  
Body-Colored Rear Bumper  
Black Bodyside Cladding  
Black Side Windows Trim  
Black Door Handles  
Black Power Side Mirrors w/Convex Spotter  
Fixed Rear Window w/Fixed Interval Wiper,  
Deep Tinted Glass  
Speed Sensitive Variable Intermittent Wipers  
Front Windshield -inc: Sun Visor Strip  
Galvanized Steel/Aluminum Panels  
Lip Spoiler  
Black Grille  
Liftgate Rear Cargo Access  
Tailgate/Rear Door Lock Inc w/Power Door Locks  
Projector Beam Led Low Beam Headlamps  
LED Brakelights

MyFord AM/FM/CD/MP3 Capable Radio  
Integrated Roof Antenna  
60-40 Folding Split-Bench Front Facing Rear Seat  
Manual Tilt Steering Column  
Gauges  
and Trip Computer  
Power Rear Windows and Fixed 3rd Row Windows  
5 Person Seating Capacity  
Remote Releases -Inc: Power Trunk/Hatch  
Cruise Control w/Steering Wheel Controls  
Manual Air Conditioning  
HVAC -inc: Underseat Ducts  
Locking Glove Box  
Driver Foot Rest  
Interior Trim -inc: Metal-Look Instrument Panel Insert,  
Urethane Gear Shift Knob  
Full Vinyl/Rubber Floor Covering  
Dashboard Storage, Driver And Passenger Door Bins  
Power Adjustable Pedals  
Power 1st Row Windows w/ 1-Touch Up/Down  
Delayed Accessory Power  
Power Door Locks  
Systems Monitor  
Redundant Digital Speedometer  
Trip Computer  
Analog Display  
Seats w/Vinyl Back Material  
Manual Adjustable Front Head Restraints  
2 12V DC Power Outlets  
Air Filtration  
Advancetrac w/Roll Stability Control  
ABS And Driveline Traction Control  
Side Impact Beams  
Dual Stage Driver / Passenger Seat-Mounted Side Airbags  
Low Tire Pressure Warning  
Dual Stage Driver And Passenger Front Airbags  
Safety Canopy System Curtain 1st And 2nd Row Airbags  
Airbag Occupancy Sensor  
Rear Child Safety Locks  
Outboard Front Lap And Shoulder Safety Belts -  
Rear Camera w/Washer

Base Price      \$      30,026.88

1/4/2019

### Options for Interceptor Utility

Dark Car Feature - Courtesy Lamp Disable	\$	20.00
Noise Suppression Bonds	\$	100.00
Rear View Camera	\$	-
Front Headlamp/ Police Interceptor Housing Drilled only	\$	125.00
Tail lamp/ Police Interceptor Housing Drilled only	\$	60.00
Remappable (4) Switches on Steering Wheel	\$	150.00
Driverside Spotlight	\$	210.00
Fleet Key 1284X	\$	50.00
SYNC	\$	295.00
Inop Rear Door and Window Control	\$	35.00
Rear Window Power Delete	\$	25.00
Grille LED Lights, Siren & Speaker Pre-Wiring	\$	50.00
Heated Side Mirrors	\$	60.00
Reverse Sensing	\$	295.00
Global Lock / Unlock Feature	\$	-
LED Trunk Lights (LIN3) Red/ Blue w/ Mercury & On/Off Switch	\$	265.00
Whelen Liberty Lightbar (Per Sheet) w/ LED TDs & Alleys	\$	3,788.00
Whelen Siren/ Light Controller Combobox w/ 100watt Speaker & Bracket	Incl	
MNStar Beyer Harness	\$	495.00
Wig-Wags	\$	195.00
(2) ION (R/W) & (4) Whelen LED Vertex in Headlights & Tail Lights (2-W) (2-R)	\$	880.00
Whelen ION Grill Lights (Red)	\$	325.00
Setina Pushbumper (Center Section Only)	\$	395.00
Havis UPI Specific Console w/ Cup Holders, Maplight, Arm Rest	\$	655.00
Havis (PKG-PSM-253) Floor Mount Package (No Cradle)	\$	625.00
Rechargeable Streamlight Stinger Mounted to Cage	\$	135.00
Setina Rear (2-Tier) (DSK, BSN) Cargo Box w/ T-Channel	\$	995.00
Setina (Universal Handcuff Style Gun Rack) w/ Handcuff Key Override (Mounted on T-Channel in Trunk)	\$	405.00
Setina Single Prisoner Partition w/ Lower Ext, Plexi Window (1K0573ITS12SCA) (GT0536ITS12)	\$	1,125.00
Setina 12VS Rear Cargo Cage (Metal Mesh Window)	\$	495.00
(2) Whelen Strip Light LEDs Mounted in Trunk w/ On/Off Switch	\$	315.00
Customer PU in EH		

**Option Total** \$ **12,568.00**

**Total** \$ **42,594.88**

Quote is good for 30 Days

To accept this quotation, sign here and return: \_\_\_\_\_



610 Route 292  
Holmes, NY 12531 Fiadamsinc@gmail.com  
(845)-855-3733 (914)760-8959

## ***FI Adams, Inc.***

### Estimate

For: Dorian D'Ausilio  
doriandausilio@gmail.com  
Lake Tibet, Pudding Street

Estimate No: 222  
Date: 12/06/2018

Description	Quantity	Rate	Amount
Design, build and install a 8'x8' Aluminum Carp Barrier for Lake Tibet on Pudding Street in Kent.	1	\$12,000.00	\$12,000.00
Subtotal			\$12,000.00
TAX 0%			\$0.00
Total			\$12,000.00
Total			\$12,000.00

### Comments

Lake water level must be lowered for installation.



Dorian D'Ausilio <doriandausilio@gmail.com>

---

## Carp Fence for Lake Tibet

---

Jesse Wechsler <Jesse.Wechsler@kleinschmidtgroup.com>

Thu, Jan 17, 2019 at 3:22 PM

To: Dorian D'Ausilio <doriandausilio@gmail.com>

Hi Dorian,

Thank you for the inquiry. While we'd like to do this work and we do have a lot of experience with fish screens and barriers, unfortunately, we do not have the time in the foreseeable future to help you on this project.

Thank you for the email and good luck with the project,

Jesse

**Jesse Wechsler**

**Senior Fisheries Scientist and Project Manager**

**207.416.1278**

[www.KleinschmidtGroup.com](http://www.KleinschmidtGroup.com)

*Providing **practical** solutions to **complex** problems affecting energy, water, and the environment*

**From:** Dorian D'Ausilio <doriandausilio@gmail.com>

**Sent:** Sunday, January 13, 2019 9:59 PM

**To:** Russ Sanford <Russ.Sanford@KleinschmidtGroup.com>

**Cc:** Vivian Gufarotti <viviangufarotti@gmail.com>

**Subject:** Carp Fence for Lake Tibet

[Quoted text hidden]



Dorian D'Ausilio <doriandausilio@gmail.com>

---

## Carp Fence on Lake Tibet

---

**Eric Inman** <einman@aquaticweedcontrol.net>  
To: Dorian D'Ausilio <doriandausilio@gmail.com>  
Cc: Vivian Gufarotti <viviangufarotti@gmail.com>

Mon, Jan 14, 2019 at 9:57 AM

No we only service Central Florida. I really don't know of any particular companies in New York.

You can probably Google "lake management companies" and find someone local.

*Eric J Inman*  
*Aquatic Weed Control, Inc*  
*6536 Pinecastle Blvd Suite A*  
*Orlando, Florida 32809*  
*407-859-2020*

[Quoted text hidden]

**Subject:** Reformatted Version

**Date:** Friday, January 18, 2019 at 1:51:52 PM Eastern Standard Time

**From:** Bonnie Becker

**To:** Maureen Fleming

**\*\*\* CORRECTION: Reformatted Version \*\*\***

**RE: Governor's proposal to gut AIM program funding to towns and villages**

Dear Supervisor Fleming:

I wish I were writing to you under better circumstances. In case you are not aware, the governor's proposed 2020 NYS budget includes unprecedented cuts to the unrestricted state revenue sharing program known as Aid and Incentives to Municipalities (AIM), to the tune of \$59 million, effectively gutting the program. The **Town of Kent** will lose **\$58361**.

If the cuts go through, a shocking 91 percent of towns will permanently lose their AIM funding. The governor's reasoning for these cuts? The governor stated that the growth of reserve funds in towns and villages – the result of years of prudent and meticulous spending – was why he stripped towns and villages of their AIM funding.

While it's true that reserve funds have been improving, they still have not fully recovered from the Great Recession of 2008. This proposal conveniently ignores the fact that reserve funds are not for operating expenses, and a reliable source of aid from the state is needed to accurately budget for operating expenses. And let's not forget, towns need to maintain sufficient reserve levels to preserve good bond ratings.

Meanwhile, in his budget, the governor is proposing to make the tax cap permanent (for which there will be a vote in the Senate on **Wednesday, Jan. 23**), discontinues the \$65 million in Extreme Winter Recovery program and proposes no increase to CHIPS funding, for which there has been widespread vocal support.

So, we have a long road ahead of us this legislative session. We are doing everything we can on our end to ensure our members receive the funding they need to carry out business as usual, but we need you to speak up and let your state representatives know that you will not stand for these cuts.

**Call to Action.** Please reach out to your state representatives. Make a phone call, write a letter or do both. Let them know that you oppose the elimination of state aid. Let them know how important reliable state funding is to the daily lives of all New Yorkers who live in towns.

**Find your State Representatives.**

- <http://myreps.datamade.us/>
- [https://openstates.org/find\\_your\\_legislator/](https://openstates.org/find_your_legislator/)

According to its faulty reasoning, the budget office has said 2 percent is not a lot for our municipalities. But when you take \$500,000, \$900,000 or \$3.5 million away, the money has to come from somewhere, and this dangerous proposal could result in service and program cuts and layoffs. Every dollar the state shares is a dollar that doesn't have to be levied on the backs of taxpayers.

Sincerely,

Gerry Geist  
Executive Director

# **FY 2020 Executive Budget Aid and Incentives for Municipalities (AIM)**

*Towns Sorted by County*

<b>Municipality</b>	<b>County</b>	<b>Class</b>	<b>FY 2019 Enacted Budget AIM (\$)</b>	<b>2017 Expenditures (OSC Data, \$)</b>	<b>AIM Reliance</b>	<b>FY 2020 Executive Budget AIM (\$)</b>
Town of Otego	Otsego	Town	14,696	1,104,462	1.33%	0
Town of Otsego	Otsego	Town	18,374	1,233,015	1.49%	0
Town of Pittsfield	Otsego	Town	6,525	488,235	1.34%	0
Town of Plainfield	Otsego	Town	8,323	786,000	1.06%	0
Town of Richfield	Otsego	Town	14,858	1,176,733	1.26%	0
Town of Roseboom	Otsego	Town	3,541	667,178	0.53%	0
Town of Springfield	Otsego	Town	5,916	0	Not Filed	0
Town of Unadilla	Otsego	Town	32,765	1,761,231	1.86%	0
Town of Westford	Otsego	Town	3,295	0	Not Filed	0
Town of Worcester	Otsego	Town	11,481	1,497,997	0.77%	0
Town of Carmel	Putnam	Town	140,362	41,910,405	0.33%	0
Town of Kent	Putnam	Town	58,361	18,040,022	0.32%	0
Town of Patterson	Putnam	Town	31,779	12,113,833	0.26%	0
Town of Philipstown	Putnam	Town	33,820	9,739,141	0.35%	0
Town of Putnam Valley	Putnam	Town	41,066	12,609,487	0.33%	0
Town of Southeast	Putnam	Town	45,592	14,296,660	0.32%	0
Town of Berlin	Rensselaer	Town	9,207	1,344,701	0.68%	0
Town of Brunswick	Rensselaer	Town	78,198	7,162,719	1.09%	0
Town of East Greenbush	Rensselaer	Town	73,383	24,020,232	0.31%	0
Town of Grafton	Rensselaer	Town	8,245	1,252,407	0.66%	0
Town of Hoosick	Rensselaer	Town	51,304	2,427,507	2.11%	51,304
Town of Nassau	Rensselaer	Town	27,829	2,030,691	1.37%	0
Town of North Greenbush	Rensselaer	Town	104,549	9,959,858	1.05%	0
Town of Petersburg	Rensselaer	Town	7,638	1,137,597	0.67%	0
Town of Pittstown	Rensselaer	Town	31,354	3,326,982	0.94%	0
Town of Poestenkill	Rensselaer	Town	37,181	2,591,084	1.43%	0
Town of Sand Lake	Rensselaer	Town	35,856	4,260,392	0.84%	0
Town of Schaghticoke	Rensselaer	Town	43,561	4,460,114	0.98%	0
Town of Schodack	Rensselaer	Town	69,789	9,886,947	0.71%	0
Town of Stephentown	Rensselaer	Town	12,009	1,544,774	0.78%	0
Town of Clarkstown	Rockland	Town	411,429	147,578,581	0.28%	0
Town of Haverstraw	Rockland	Town	105,471	38,419,494	0.27%	0
Town of Orangetown	Rockland	Town	265,710	81,628,195	0.33%	0
Town of Ramapo	Rockland	Town	427,314	0	Not Filed	0
Town of Stony Point	Rockland	Town	59,654	23,006,496	0.26%	0
Town of Ballston	Saratoga	Town	49,218	6,597,528	0.75%	0
Town of Charlton	Saratoga	Town	32,695	2,134,679	1.53%	0
Town of Clifton Park	Saratoga	Town	98,088	23,717,380	0.41%	0
Town of Corinth	Saratoga	Town	22,062	5,032,545	0.44%	0
Town of Day	Saratoga	Town	27,897	1,334,001	2.09%	27,897
Town of Edinburg	Saratoga	Town	4,963	1,654,808	0.30%	0
Town of Galway	Saratoga	Town	20,144	2,214,673	0.91%	0
Town of Greenfield	Saratoga	Town	23,312	5,269,321	0.44%	0
Town of Hadley	Saratoga	Town	6,616	2,517,989	0.26%	0
Town of Halfmoon	Saratoga	Town	65,639	20,401,332	0.32%	0
Town of Malta	Saratoga	Town	25,627	10,602,267	0.24%	0
Town of Milton	Saratoga	Town	106,050	0	Not Filed	0

# *2019 Proposed Legislative Program*

## **Resolution No. 1**

### **Strengthening State Relations through Mandate Relief and Revenue Sharing**

WHEREAS, local governments perform a number of public services such as protecting the environment, responding to emergencies, caring for those in need and fostering economic growth; and

WHEREAS, complying with state and federal regulations and mandates increases the cost of local services; and

WHEREAS, state revenue sharing, program funding and technical assistance has not kept pace with the costs to provide these services; and

WHEREAS, without state funding, many of these services are funded with local real property taxes; and

WHEREAS, the state has evinced a commitment to reduce property taxes with the enactment of the Real Property Tax Cap; **NOW THEREFORE BE IT**

**RESOLVED, that the Association of Towns calls upon the Governor and the Legislature to enact comprehensive mandate relief legislation that provides permanent and full funding of existing and future mandates and that requires all legislation to include thorough local fiscal impact notes regarding the actual expense of implementing said legislation; and BE IT FURTHER**

**RESOLVED, that the Association of Towns calls upon the Governor and the Legislature to increase revenue sharing, program funding and technical assistance to localities.**

## **Background**

***This resolution was part of the 2018 Legislative Program.***

### ***Mandate Relief***

Unfunded mandates pose a significant burden to municipal budgets. Over the last few years, several bills have been introduced addressing unfunded state mandates, signifying state lawmakers' awareness of exactly how mandates hinder a municipality's ability to operate and provide services; however, none have been successful.

### ***Revenue Sharing***

Towns receive general revenue sharing (unrestricted aid) through the Aid and Incentive for Municipalities (AIM) program, which is intended to help towns stabilize real property taxes. AIM funding has not been increased since 2008 and remained at \$714.7 million in the 2018-2019 state budget for cities, villages and towns, with towns sharing \$47.9 million or 6.7 percent of the total. Had AIM kept pace with inflation, the total 2018 appropriation would have been for \$893 million. Although the governor would like to reduce the burden on property taxpayers, as demonstrated by programs like the tax cap, tax freeze and countywide shared services panel, the Executive/Enacted State Budget routinely underutilizes a revenue sharing program already in place as a way to reduce reliance on property taxes to fund local services.