#### TOWN OF KENT TOWN BOARD MEETING Tuesday, December 4, 2018

#### Executive Session - 6:00 p.m.

discuss proposed, pending or current litigation; collective negotiations pursuant to article fourteen of the civil service law; and the medical, financial, credit or employment history of a particular person or corporation, or matters leading to the appointment, employment, promotion, demotion, discipline, suspension, dismissal or removal of a particular person or corporation.

#### Public Hearing – 7:00 p.m.

Kent Town Code for the Regulation and Licensing of Food Trucks

#### Workshop -

- 1. Pledge of Allegiance
- 2. East of Hudson projects discussion
- 3. Magna5 Proposal
- 4. Livestock Crossing signs on Dean Rd.
- 5. Planning Board Erosion control bond and inspection fee for TM# 30.20-1-15 and bond return for TM# 30.20-1-16
- 6. Code Enforcer correct violations at TM# 33.65-1-36
- 7. Generator maintenance agreement
- 8. Announcements
- 9. Public Comment

#### **Meeting**

- 1. Roll Call
- 2. Vote on the following:
  - a) Accept proposal from Magna5
  - b) Accept erosion control bond for TM# 30.20-1-15
  - c) Bond return for TM# 30.20-1-16
  - d) Approve contract to correct violations at TM# 33.65-1-36
  - e) Approve contract for generator maintenance
  - f) Tax certiorari settlement TM# 33.48-1-18
- 3. Vouchers and Claims
- 4. Public comment

# TOWN OF KENT AMENDMENT TO CHAPTER 39B OF THE KENT TOWN CODE

BE IT ENACTED by the Town Board of the Town of Kent, Putnam County, New

York, as follows:

<u>Section 1</u>. Chapter 39B entitled "Peddlers and Solicitors", is amended as follows:

Chapter 53. Peddlers and Solicitors

§ 53-10 Exemptions.

- A. A.No part of this chapter shall be enforced so as to conflict with Article 4, § 32, of the General Business Law of the State of New York, providing for exemption for veterans.
- <u>B.</u> B. The requirements of this chapter shall not apply to the following, provided that official uniforms, clothing or other suitable identification is displayed:
  - (1) Any recognized nonprofit, religious, charitable, educational, civic or political organization.
  - (2) Any such organizations as the Boy Scouts, Girl Scouts or local volunteer firemen.
- C. The provisions of this Chapter shall not apply to operators of Food Trucks which possess a license pursuant to Chapter 39B of the Town Code.

Section 2. Chapter § 39-B shall be added to the Town Code, entitled "Food Trucks", as follows:

Chapter 39B. Food Trucks.

39B-1. Definitions.

As used in this article, the following terms shall have the meanings indicated:

#### **APPLICATION**

The form and supporting information or documentation prescribed by the Town Board seeking the issuance of a food truck permit.

#### FOOD TRUCK

A vehicle from which food for human consumption is sold or dispensed. Such vehicle may be self-propelled or towed by another vehicle.

#### FOOD TRUCK PERMIT

The permit or license issued by the Town Clerk which shall be proof that a particular food truck has met the qualification requirements and that the location endorsed thereon has been approved by the Town for the purpose stated therein.

#### FOOD TRUCK PERMIT, SECONDARY

A second permit which may be issued to an existing food truck permit holder which would allow such permit holder to locate his or her food truck at a secondary location on municipally owned property.

#### LOCATION

The particular physical site, approved by the Town Code Enforcement Officer, where the food truck shall be parked and operated during permitted hours.

#### **VETERAN**

Any veteran of the United States military service or coast guard who has been discharged from service for other than cause. Any veteran applicant shall submit a copy of his or her Form DD-214 as part of the application package.

§ 39B-2. Permit; fees.

- A. No more than one permit shall be issued to any individual or qualifying business entity.
- B. Such permit shall be issued to an applicant who has completed the requisite application on the prescribed form provided by the Town Clerk, paid the requisite fee(s) and provided such additional information as may be required in the application, including, but not limited to, proof of general liability insurance with limits of liability not less than \$1,000,000 per occurrence; current vehicular registration, inspection and insurance; proof of permission to locate the food truck at the particular location; and, in the case of prepared food sales, a current food vendor's permit issued by the Putnam County Department of Health. The Town of Kent shall be listed as an additional insured on the policy of general liability insurance.
- C. Permits shall be issued on a calendar year basis running from January 1 to December 31.

  Applications for such permits shall be available to residents or established businesses located within the Town of Kent from November 1 through November 30 of each year for the following year. From December 1 on, applications, to the extent permits are still available, shall be accepted from nonresidents.
- D. The annual fee for a food truck permit shall be set by the Town Board and included in the annual fee schedule adopted by the Town Board, as the same may be amended from time to time. Any permit issued after July 1 shall be 1/2 of the annual permit fee and shall run for the balance of the calendar year. Any permit issued to a veteran shall be exempt from the payment of the annual fee. To be exempt from the payment of the requisite permit fee, such veteran shall actually be engaged in the operation of the food truck and shall be present at the location at all times the food truck is in operation.
- E. Food truck permit holders and any employee(s) shall be issued a photographic identification

- card by the Town of Kent. Such identification shall be maintained on the person of the permit holder and employee at all times that the food truck is in operation and shall be open to the inspection by the Town Code Enforcement Officer.
- F. Secondary permits shall be made available to existing food truck permit holders who wish to provide food vending services on municipally owned properties on a monthly, weekly or daily basis. Such secondary permits shall only be issued to existing food truck permit holders. The fee for such secondary permit shall be set forth in the annual fee schedule, as the same may be amended from time to time.
- G. Notwithstanding the foregoing, any licensed or permitted food truck shall be allowed to operate on private property within the Town at a specific function and at the specific request by such private property owner for the purpose of catering or providing food service for such special function.

#### § 39B-3. Location.

- A. Except as otherwise provided for herein, a food truck permit shall allow the holder thereof to conduct the business vending food from a specific, stationary location. Such location shall be on private property or within or on a public thoroughfare or right-of-way. No vending or soliciting of food sales shall occur by the permittee at any location within the Town other than that which is declared on the permit.
- B. A permitted location shall be within a commercially zoned area and shall be subject to the prior approval of the Town Code Enforcement Officer to ensure that such location is safe for use by both vehicles and pedestrians.
- C. An applicant for a food truck permit shall provide proof, in writing, signed by the owner of the particular location or, with respect to state, county or other municipal thoroughfares, signed by the authorized permitting authority, that the applicant has permission to park or locate the food truck at that particular location. Such document shall be signed and acknowledged before a notary public.
- D. A permitted location shall have an improved parking area and shall have not less than two parking spaces available for patron use. Such parking spaces must be in addition to any parking spaces that are committed to other uses and/or occupancies that are served by the site as specified in the Town's zoning regulations or as set forth on any current site plan for the location.
- E. A permitted location shall not be closer than 500 feet to any existing restaurant, delicatessen, fast food establishment, or other food service establishment.
- F. There shall be no outdoor seating or other accommodation for on-site consumption of food or other vended products. The food truck permit holder shall provide adequate refuse

receptacles for patron use and shall provide that refuse deposited therein is removed from the permitted location on a daily basis.

#### § 39B-4. Hours of operation.

- A. Food trucks may be operated during the hours of 5:00 a.m. through 9:00 p.m. on any given day.
- B. Food trucks shall be removed from the permitted location within one hour after closing and shall not be returned to the permitted location more than one hour before the permitted opening time on any given day. There shall be no overnight parking of food trucks at any permitted location.

#### § 39B-5. Penalties for offenses; revocation.

- A. Any person who violates any provision of this article shall be guilty of an offense and upon conviction thereof shall be subject to a fine of not less than \$100 nor more than \$250 for each violation, or by imprisonment not exceeding 15 days, or both such fine and imprisonment.
- B. <u>Conviction of three violations of any provision of this article shall result in the immediate revocation of the food truck permit.</u>

Section 3. This local law shall take effect immediately.

Dated: November \_\_\_\_, 2018

BY THE ORDER OF THE TOWN BOARD OF

THE TOWN OF KENT

[]	deleted text	
<u>.                                    </u>	added text	

2 Route 164, Suite 2 Patterson, NY 12563 Tel: 845-319-6349 Fax: 845-319-6391

November 27, 2018

Supervisor Maureen Fleming Town of Kent 25 Sybil's Crossing Kent Lakes, NY 10512

RE: EOHWC, Year 8 (2019) Town of Kent Projects

Dear Supervisor Fleming:

The East of Hudson Watershed Corporation (EOHWC) is a Regional Stormwater Entity (RSE) with 19 members (18 municipalities and one County), operating in 18 municipalities and three Counties in the EOH watershed. The EOHWC is operated for charitable purposes and was established to administer, coordinate, and implement the East of Hudson (EOH) regional stormwater retrofit projects (SRPs) with funding made available by the NYCDEP, Westchester County, and Putnam County. The regional stormwater retrofit plans were developed as a response to the heightened phosphorus removal requirements of the New York State Department of Environmental Conservation (NYSDEC) General Permit GP-0-08-002 Municipal Separate Storm Sewer Systems Permit (MS4 General Permit).

As you may be aware, participation within the New York State phosphorus reduction program is a requirement for each MS4. EOHWC staff and contractors have worked with the Town in selecting a group of projects we intend on pursuing, and we would like to take this opportunity to inform you and your Town Board of all new projects for the upcoming year. I will be available to answer any questions or concerns you may have at the next available Board Meeting.

Thank you for your time,

Kevin Fitzpatrick, P.E. Director of Engineering

Kent-BC-830

Rambler Rd

#### Stormwater Retrofit Project Summary Sheet Kent-BC-830

#### 1. PROJECT DESCRIPTION

The proposed SRP is for the installation of a filter chamber unit on Town property, at the intersection of Rambler Rd and Seven Lakes Drive in Kent, NY. An alternative approach may be to install an wet pond on private property adjacent to the filter location.

Table 1 SRP Summary

Drainage Area	Area (ac)	Ownership	Estimated P Load (kg/yr)	Proposed SRP	Removal Efficiency (%)	Estimated P Removal (kg/yr)	Notes
1	9.9	Town	5.46	Filter Chamber	50	2.73	None

#### 2. PROJECT LOCATION

#### 2.1 <u>Location/Utilities</u>

See Attachment A for aerial photos and topography of the project sites.

#### 2.2 Property Ownership

All SRP components will be installed on Town property, in the ROW.

#### 3. PERMITTING REQUIREMENTS

Based on our preliminary evaluation, EOHWC believes the following permits may be required for this project. A thorough investigation should be completed by the design engineer for accuracy. This list is provided for information only, and the proposer shall include permitting in their proposal:

NYSDEC General Permit coverage

#### 4. LIST OF ATTACHMENTS

- Design Review Worksheet
- Aerial and Topographic Photos

Page 1 of 1 October 3, 2018



Coordinate System: NAD 1983 UTM Zone 18N Central Meridian: 75°0'0"W Kent-CF-845

Palmer Lake

#### Stormwater Retrofit Project Summary Sheet Kent-CF-845

#### 1. PROJECT DESCRIPTION

The proposed SRP is for the installation of a Wet ED Pond on private property, at the intersection of Palmer Trail and Route 52 in Kent, NY. The project will require installation of new infrastructure on various sites to secure the necessary water quality volume to be treated.

Table 1 SRP Summary

Drainage Area	Area (ac)	Ownership	Estimated P Load (kg/yr)	Proposed SRP	Removal Efficiency (%)	Estimated P Removal (kg/yr)	Notes
1	35.2	Private	15.08	Wet ED Pond	55	8.29	None

#### 2. PROJECT LOCATION

#### 2.1 Location/Utilities

See Attachment A for aerial photos and topography of the project sites.

#### 2.2 <u>Property Ownership</u>

All SRP components will be installed on Private property.

#### 3. PERMITTING REQUIREMENTS

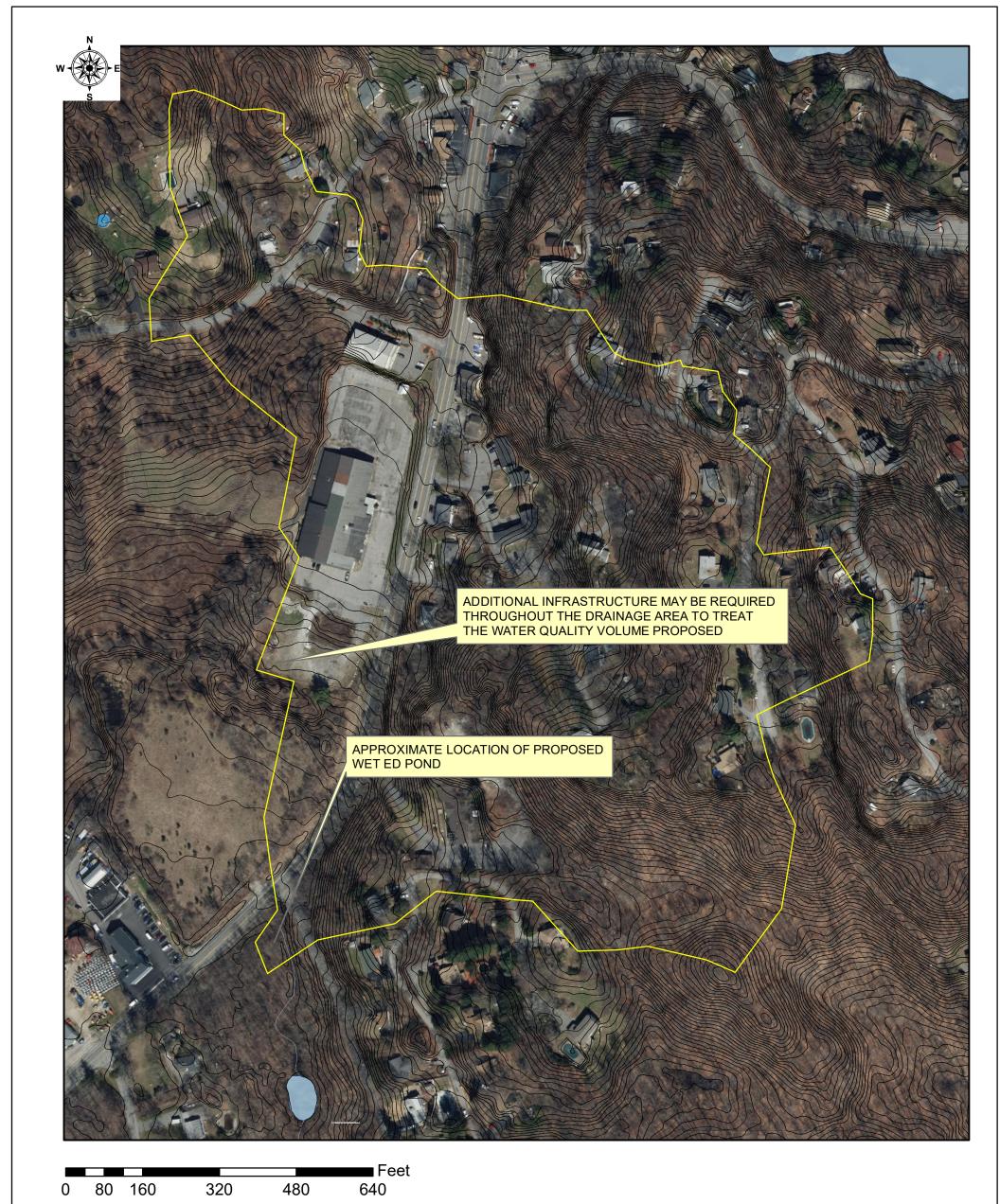
Based on our preliminary evaluation, EOHWC believes the following permits may be required for this project. A thorough investigation should be completed by the design engineer for accuracy. This list is provided for information only, and the proposer shall include permitting in their proposal:

- NYSDEC General Permit coverage
- NYSDEC Wetland Disturbance Permit

#### 4. LIST OF ATTACHMENTS

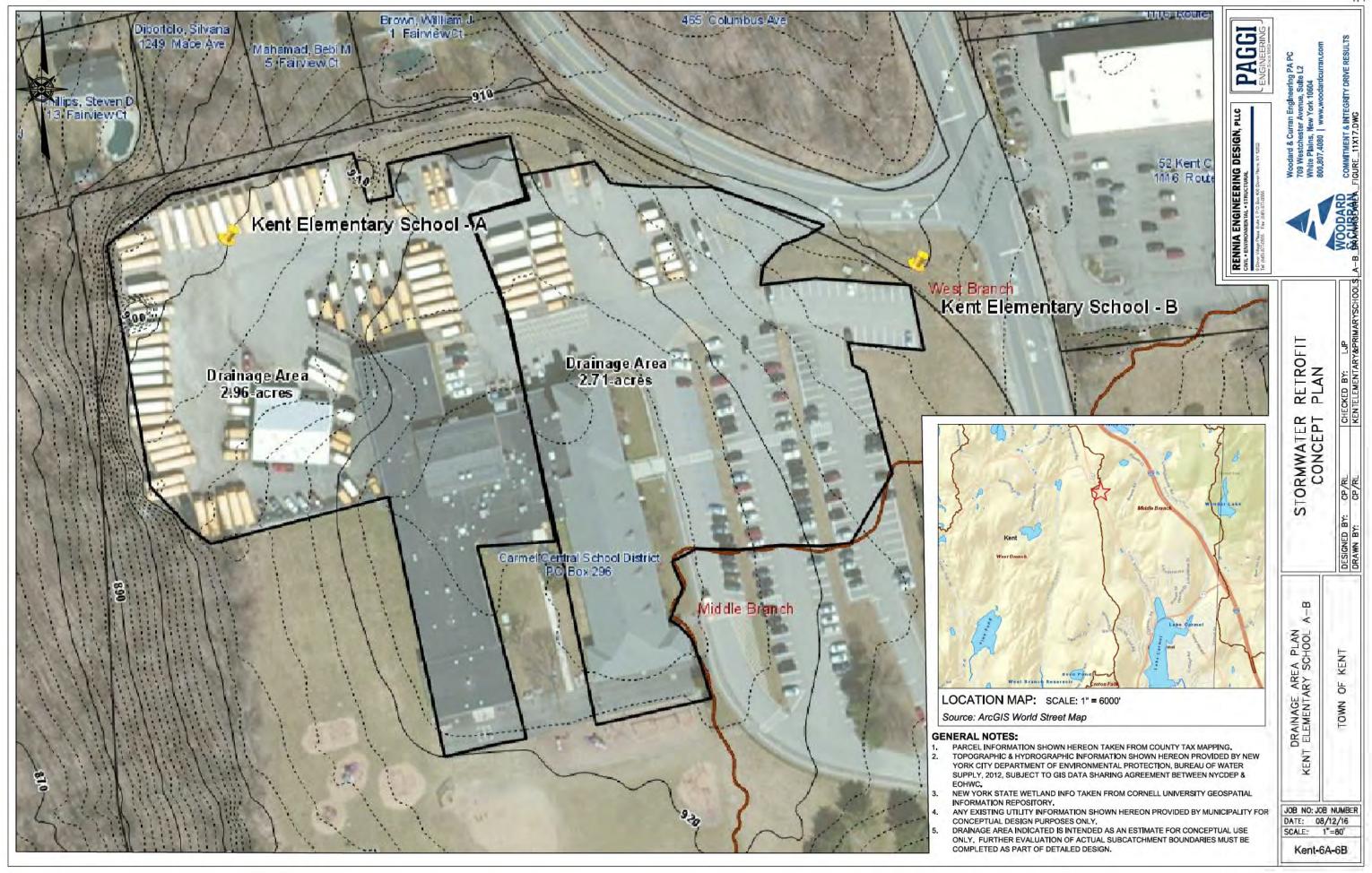
- Design Review Worksheet
- Aerial and Topographic Photos

Page 1 of 1 October 4, 2018



Coordinate System: NAD 1983 UTM Zone 18N Central Meridian: 75°0'0"W Kent-WB-815
M ‡ "

Kent Elementary School (A)
M - o





CIVIL . ENVIRONMENTAL . STRUCTURAL

6 Dover Village Plaza, Suite 5, P.O. Box 400, Dover Plains, NY 12522 Tel. (845) 877-0555 Fax: (845) 877-0556



Print Date: 8/14/2016

#### PHOSPHORUS LOADING AND REDUCTION CALCULATION SHEET

Project #: Kent-6 A

Prepared for: East of Hudson Coalition

Prepared by: CRP
Project County: Putnam

#### Kent-6 A: Kent Elementary School - A

**WATER QUALITY VOLUME:** WQv(acre-feet) = [(P)(Rv)(A)]/12

A = 3 acres where: A = Contributing Area (acres)
I = 100.00% I = Impervious Area (acres/%)

P = 90th Percentile Rainfall Event Number (in)

Rv = Runoff Coefficient [0.05 + 0.009(I)]

Rv (calculated)= 0.9500 WQv = Water Quality Volume

 $Rv \text{ (min)}^{**} = 0.9500$  WQv (acre-ft) = 0.285WQv (cu-ft) = 12415

#### PHOSPHORUS LOADING:

Simple	Method:	P Load = P x P j x R v x	CXAXO.	103
P =	45	where:	P Load=	Annual load (kg/yr)
Pj =	0.9		P =	Annual Rainfall (inches)
Rv =	0.9500		Pj =	Fraction of rainfall producing Runoff = 0.9
A =	3		Rv =	Runoff Coefficient
C =	0.50		C =	Pollutant Concentration (mg/l)
			A =	A = Contributing Area (acres)

#### Weighted Loading Coefficients

Land Use	% of Total Area
Residential	0
Commercial	0
Industrial	0
Actively Grazed Pasture	0
Forest	0
Impervious	1
Develped Open Space	0

Weighted "C": 0.50

<sup>\*\*</sup>Minimum Rv = 0.2 when determining WQv. Use calculated Rv when determining phosphorus loading.



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Print Date: 8/14/2016

#### PROPOSED RETROFIT PRACTICE AND ANITICIPATED REDUCTION:

Proposed Retrofit Practice: Subsurface Infiltration

Removal Efficiency: 100%

P Load -----> 13.10 lb/yr

5.94 kg/yr

P Removal -----> 13.10 lb/yr

5.94 kg/yr

4.75 kg/yr Assume 80% of WQv treated

Summary:

Proposed Retrofit Practice	Subsurface Infiltration			
Drainage Area (acres)	3.0	Phosphorus Loading (kg/yr)	5.94	
Water Quality Volume (cf)	12415	Phosphorus Reduction (kg/yr)	4.75	



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Print Date: 8/14/2016

#### PHOSPHORUS LOADING AND REDUCTION CALCULATION SHEET

Project #: Kent-6 B

Prepared for: East of Hudson Coalition

Prepared by: CRP
Project County: Putnam

#### Kent-6 B: Kent Elementary & Primary Schools

**WATER QUALITY VOLUME:** WQv(acre-feet) = [(P)(Rv)(A)]/12

P = 90th Percentile Rainfall Event Number (in)

Rv = Runoff Coefficient [0.05 + 0.009(I)]

Rv (calculated)= 0.8833 WQv = Water Quality Volume

Rv (min)\*\* = 0.8833 WQv (acre-ft) = 0.239 WQv (cu-ft) = 10389

#### PHOSPHORUS LOADING:

Simple	Method:	P Load = P x P j x R v x	CXAXO.	103
P =	45	where:	P Load=	Annual load (kg/yr)
Pj =	0.9		P =	Annual Rainfall (inches)
Rv =	0.8833		Pj =	Fraction of rainfall producing Runoff = 0.9
A =	2.7		Rv =	Runoff Coefficient
C =	0.49		C =	Pollutant Concentration (mg/l)
			A =	A = Contributing Area (acres)

#### Weighted Loading Coefficients

Land Use	% of Total Area
Residential	0
Commercial	0
Industrial	0
Actively Grazed Pasture	0
Forest	0
Impervious	0.93
Develped Open Space	0.073

Weighted "C": 0.49

<sup>\*\*</sup>Minimum Rv = 0.2 when determining WQv. Use calculated Rv when determining phosphorus loading.



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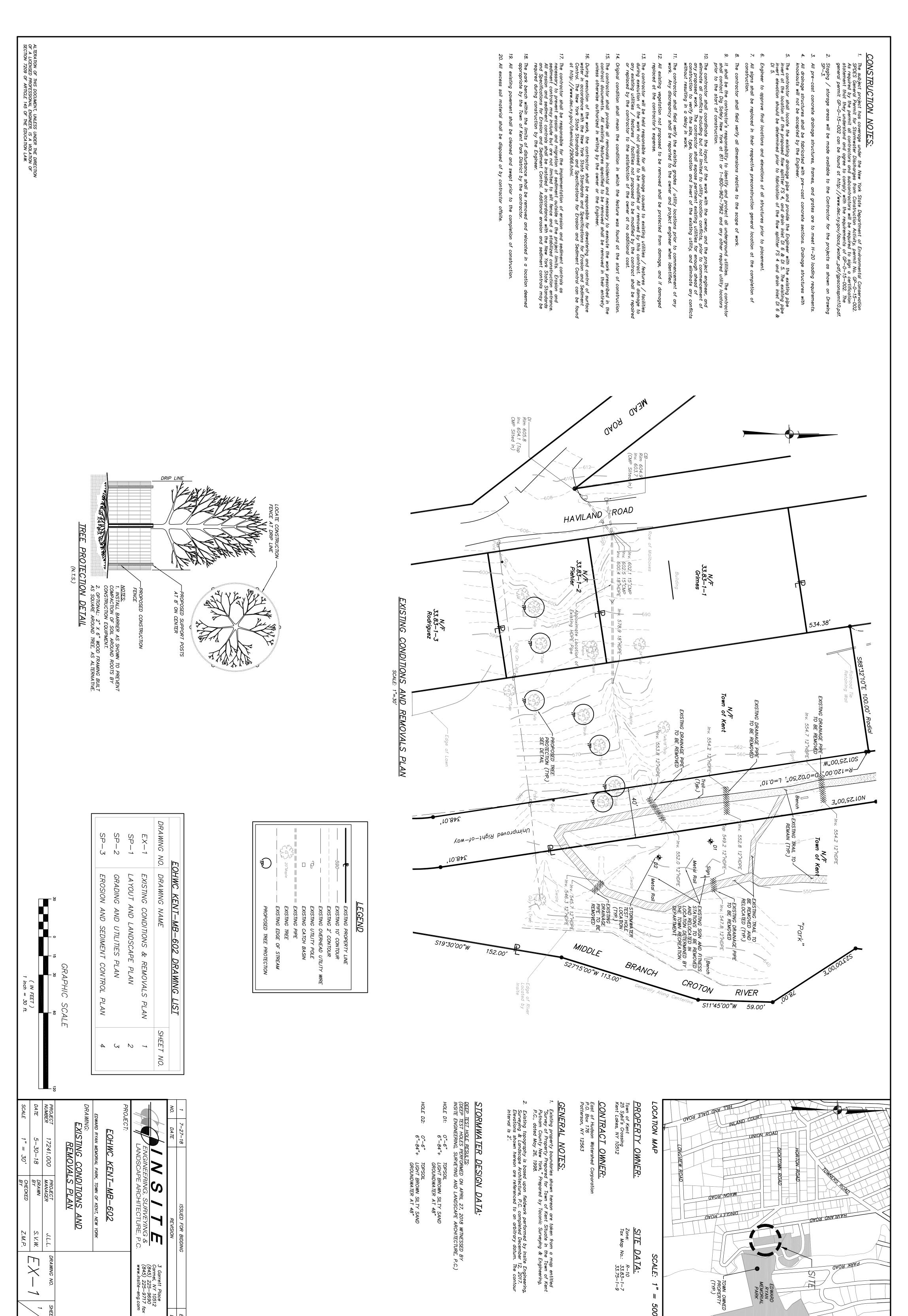
Print Date: 8/14/2016

#### PROPOSED RETROFIT PRACTICE AND ANITICIPATED REDUCTION:

Summary:

Proposed Retrofit Practice	nd Filter		
Drainage Area (acres)	2.7	Phosphorus Loading (kg/yr)	4.84
Water Quality Volume (cf)	10389	Phosphorus Reduction (kg/yr)	2.86

1

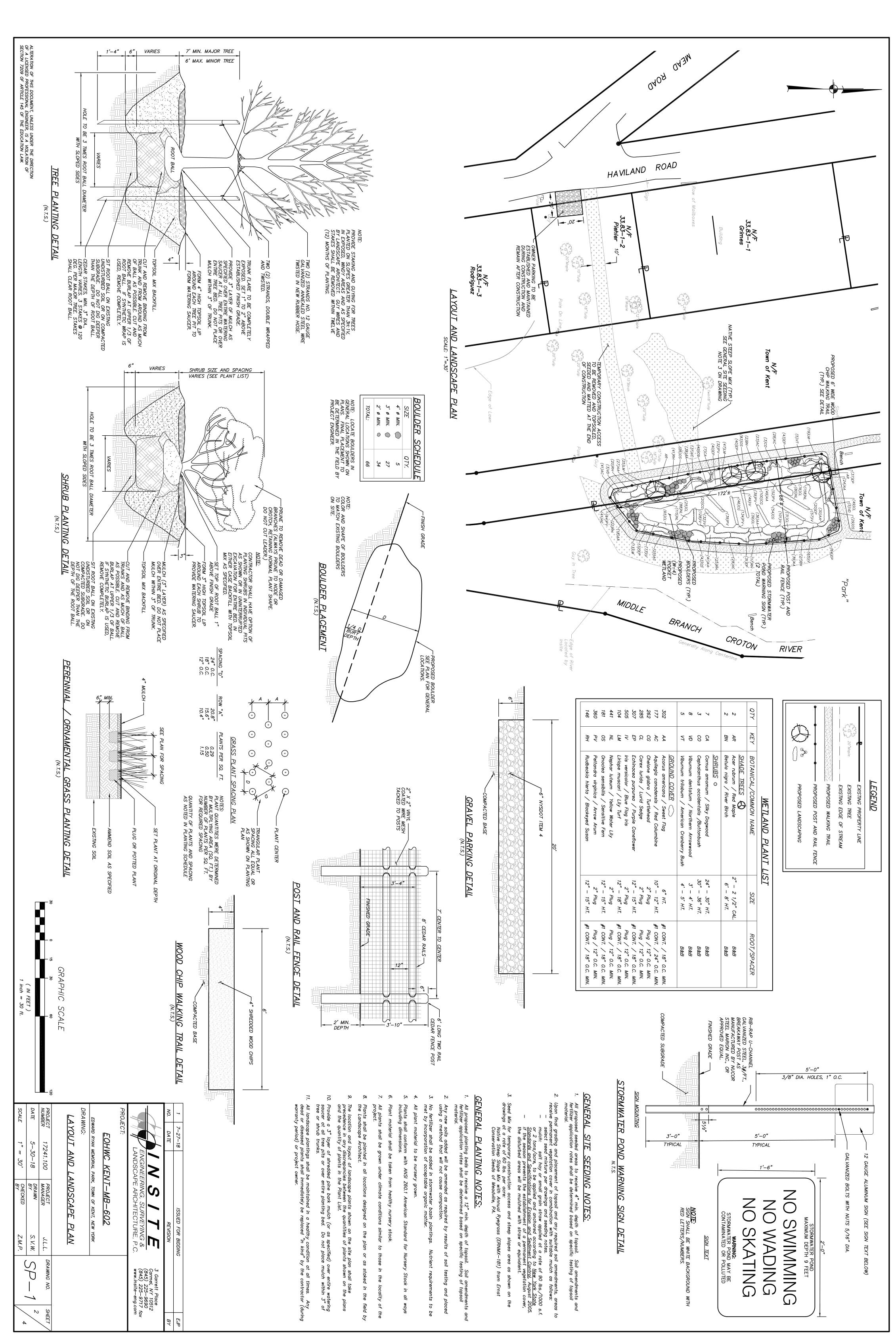


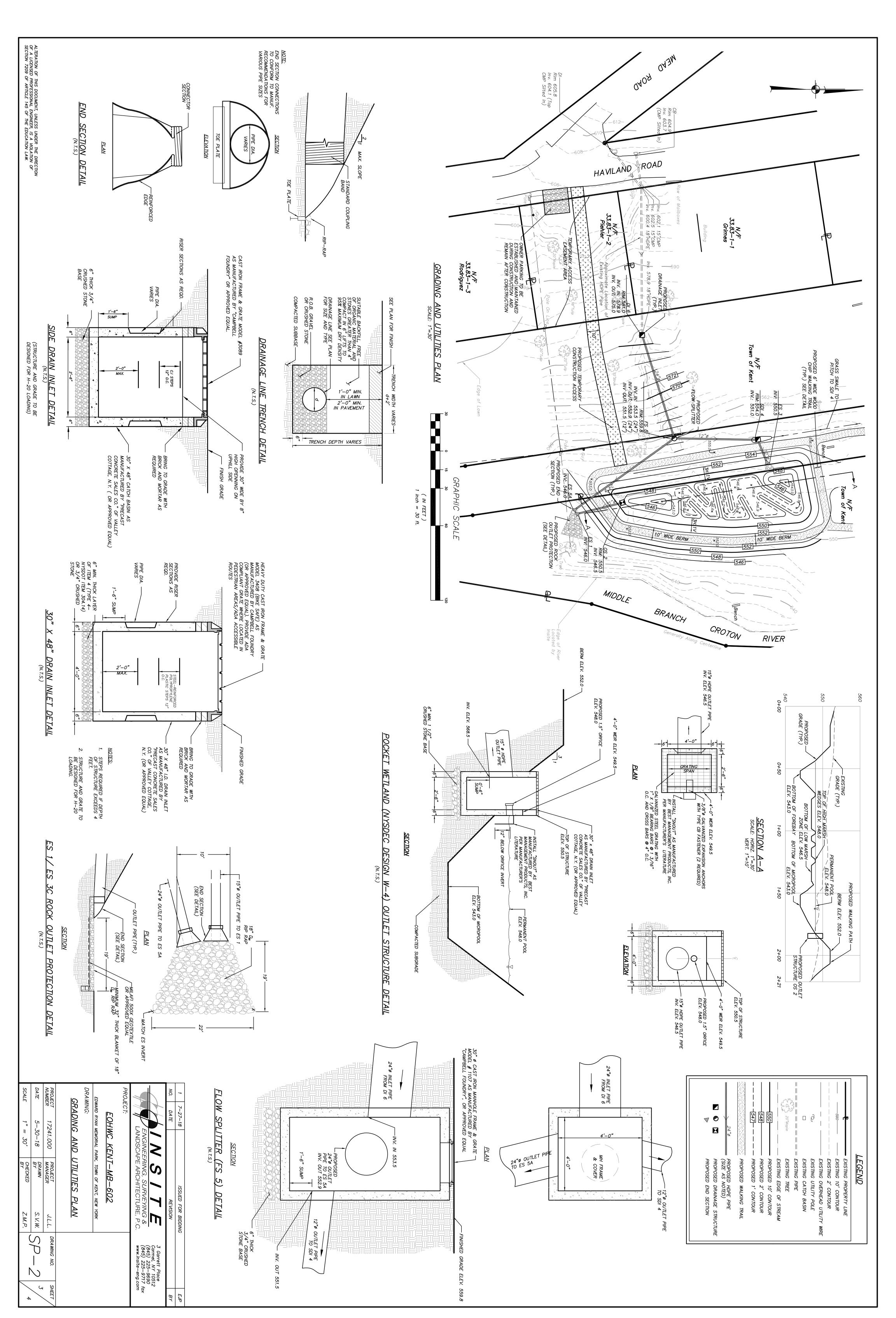
S1 1/E

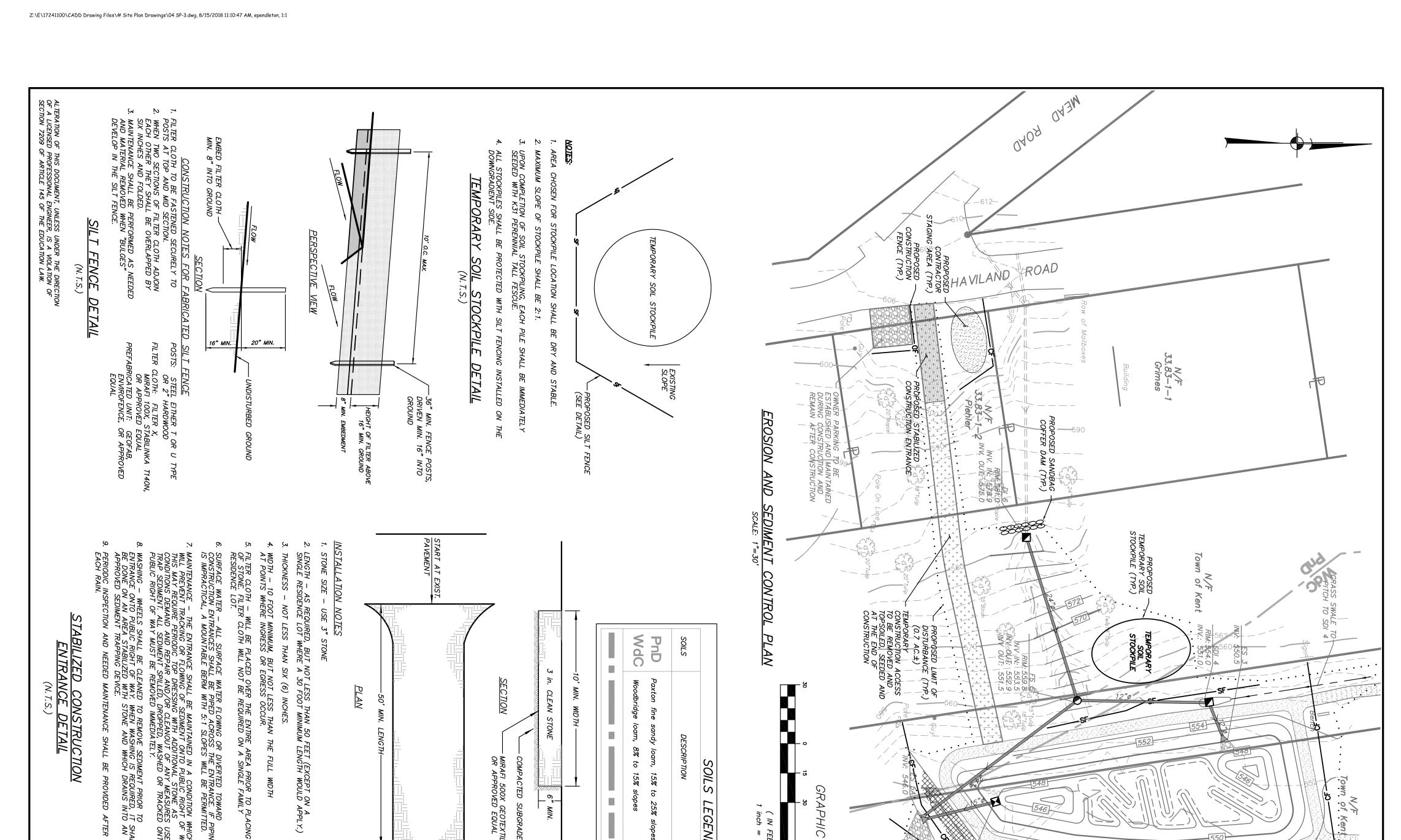
-TOWN OWNED PROPERTY (TYP.)

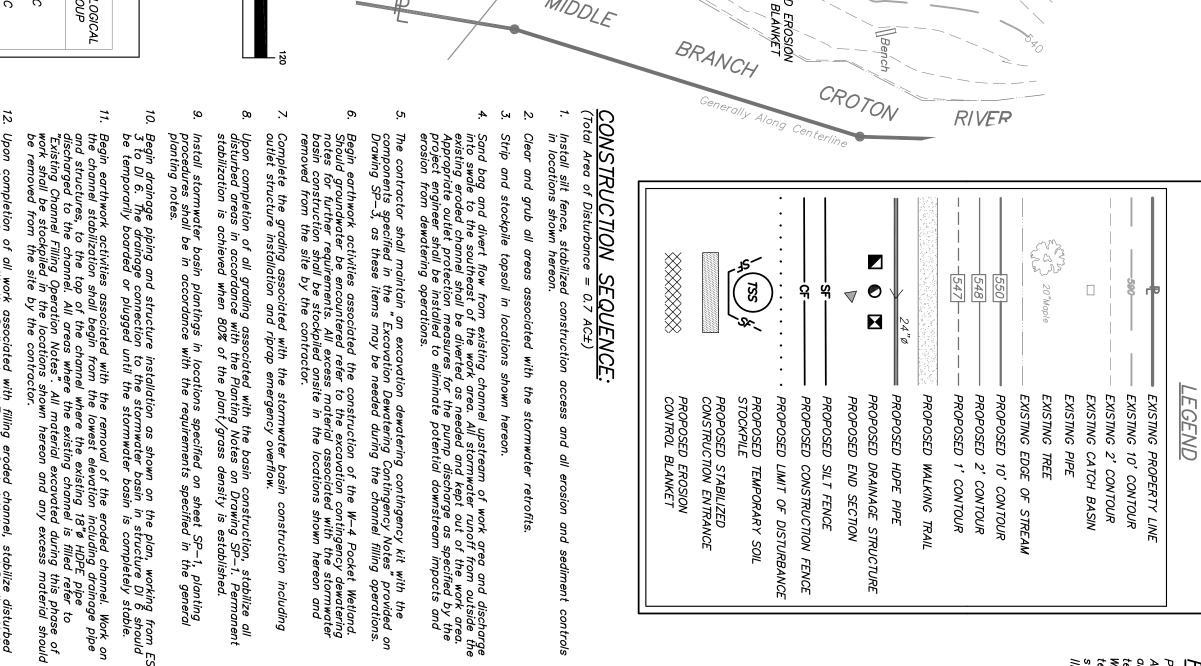
500'±

EDWARD RYAN MEMORIAL PARK









RIM: 559.8 | RIM: 559.8 | V | W: | 553.5 | 00UT: | 552.9 | 0UT: | 551.5

# **EXISTING** CHANNEL FILLING OPERATIONS NOTES:

- Channel filling operations shall begin at the source point of the existing erc
- During Channel Filling Operations sand bag cofferdams in accorda if groundwater or base flow is encountered the ce with the detail provided on Drawing SP-3.

EROSION	AND	SEDIMEN	IT CONT	EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE	ICE SCHEDULE
IINOM	ORING RE	MONITORING REQUIREMENTS	17S	MAINTENANCE	MAINTENANCE REQUIREMENTS
PRACTICE	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	ı	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	ı	Inspect	Clean/Replace Stone and Fabric	Remove
DUST CONTROL	Inspect	ı	Inspect	Mulching/ Spraying Water	N/A
*VEGETATIVE ESTABLISHMENT	ı	Inspect	Inspect	Water/Reseed/ Remulch	Reseed to 80% Coverage
SOIL STOCKPILES	I	Inspect	Inspect	Mulching/ Silt Fence Repair	Remove
CONCRETE DRAINAGE STRUCTURES	ı	Inspect	Inspect	Clean Sumps/ Remove Debris/ Repair/Replace	Clean Sumps/ Remove Debris/ Repair/Replace
DRAINAGE PIPES	ı	Inspect	Inspect	Clean/Repair	Clean/Repair
ROAD & PAVEMENT	ı	Inspect	Inspect	Clean	Clean
*STORMWATER	I	Inspect	Inspect	Clean/Mulch/ Renair/Reseed	Remove sediment in forebay after 50% of total canacity has been

STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)

SHALL BE PROVIDED AFTER

Permanent vegetation is consid Erosion control measures shall <u>ote:</u> The party responsible for after construction is:

ered stabilized when 80% of the plant density is established. remain in place until all disturbed areas area permanently stabilize implementation of the maintenance schedule during and

TEXTILE ANCHORING DETAIL (N.T.S)

17241.000

CONTROL

PLAN

-30–18

= 30'

Z.M.P.

S. V. W.

J.L.L.

STAPLES, PINS OR STAKES TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS

Town of Kent 25 Sybil's Crossing Kent Lakes, New York 10512 and/or the current owner(s) of the

VE SEDIMENT PRIOR TO ISHING IS REQUIRED, IT SHALL ND WHICH DRAINS INTO AN

AINED IN A CONDITION WHICH VT ONTO PUBLIC RIGHT OF WAY ADDITIONAL STONE AS IOUT OF ANY MEASURES USED TO D, WASHED OR TRACKED ONTO IATELY.

OR DIVERTED TOWARD DSS THE ENTRANCE. IF PIPING OPES WILL BE PERMITTED.

THE FULL WIDTH

ROPOSED STABILIZED INSTRUCTION ENTRANCE END SECTION N/F of Ken

to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction (GP-0-10-001), all Stormwater Pollution Prevention Plans (SWPPP) shall include erosion nent control practices designed in conformance with the most current version of the standard, "New York Standards and Specifications for Erosion and Sediment Control." sion and sediment control practices are not designed in conformance with this standard, the owner or operator must demonstrate equivalence to the technical The following list of required SWPPP components is provided in accordance with Part of General Permit GP-0-15-002:

ontrol SWPPP Contents:

Erosion

1. The Erosio

80

Sediment Control Notes:

The NYSDEC Trained Contractor will be responsible for the implementation and maintenance of sediment and erosion control measures on this site prior to and during construction.

All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.

The Erosion and Sediment Control Plan is only to be referred to for the installation of sedimentation and erosion control measures. For all other construction related activities, including, but not limited to, grading and utilities, refer to the appropriate drawings.

and bag and divert flow from existing channel upstream of work area and discharto swale to the southeast of the work area. All stormwater runoff from outside to the southeast of the work area. All stormwater runoff from outside to thing eroded channel shall be diverted as needed and kept out of the work area. Spropriate outlet protection measures for the pump discharge as specified by the roject engineer shall be installed to eliminate potential downstream impacts and rosion from dewatering operations.

13.

Cut or fill slopes steeper than 2:1 shall be stabilized immediately after grading Curlex I Single Net Erosion Control Blanket, or approved equal.

Paved roadways shall be kept clean at all times.

The site shall at all times be graded and maintained such that all stormwater ruis diverted to soil erosion and sediment control facilities.

All storm drainage outlets shall be stabilized, as requir voints become operational.

ed, before the disch

Grass seed mix may be applied by either mechanical or hydroseeding methods. Hydroseeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610–3.02, Method No. 1".

15.

Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.

tall stormwater basin plantings in locations specified on sheet SP-1, planting redures shall be in accordance with the requirements specified in the general nting notes.

PLAN

(IN FEET)1 inch = 30 ft.

*GRAPHIC* 

on completion of all work associated with filling eroded channel, stabilize disturbed as in accordance with the Sediment and Erosion Control Notes and Seeding Notes. The stabilization is achieved when 80% of the plant/grass density is established.

WdC

8% to 15% sh

10,

MIN.

HLOM

<u>;</u>

CLEAN STON

6" MIN.

SECTION

MIRAFI 500X GEOTEXTILE, OR APPROVED EQUAL

COMPACTED SUBGRADE

PnD

Paxton

fine

15% to 25% slopes

LEGEND

of the prop wood chip walking trail

completion of all aspects, remove temporary construction access and reseed in dance with notes on Drawing SP-1. All disturbed areas shall be stabilized in dance with the Sediment and Erosion Control Notes. Permanent stabilization is sed when 80% of the plant/grass density is established.

specified in the "Excavation Dewatering Contingency Notes" provided on this drawing, as these items may be needed during the channel filling operations	The contractor shall maintain an excavation dewatering contingency kit with the components	project engineer and appropriate outlet protection measures as specified by the project engineer shall be installed to eliminate potential downstream impacts and erosion from dewatering operation	הוופי שמווש מופרוומים של היום מוומי של כסוופיממוזי אומוז שם ווו מיוסכמוטוז אףפרוופט של נוופי
ncy Notes" provided on this drawing, as these	tering contingency kit with the components	measures as specified by the project engineer m impacts and erosion from dewatering operat	וופוטמווו אומוו שפ ווו מ וסכמנוסוו אףפכווופט של נוופ

	Remove	Clean/Replace	Inspect	-	
1-	Remove	Clean/Replace	Inspect	Inspect	1
·	AFTER CONSTRUCTION	DURING CONSTRUCTION	AFTER RAINFALL	WEEKLY	1
STREAM FLO	MAINTENANCE REQUIREMENTS	MAINTENANCE	<i>TS</i>	EQUIREMENTS	
o',	SEDIMENT CONTROL MAINTENANCE SCHEDULE	OL MAINTENAN	T CONTR	<u>SEDIMEN</u>	
_	vation Dewatering Contingency Notes" provided on this drawing, as these during the channel filling operations.	vation Dewatering Contingency Notes" provided on this drawing, as the during the channel filling operations.	vation Dewatering Contingency Notes during the channel filling operations.	vation Dewate during the ch	

installation as shown on the plan, working from ES to the stormwater basin in structure DI 6 should until the stormwater basin is completely stable. EXISTING EDGE OF STREAM
PROPOSED 10' CONTOUR
PROPOSED 2' CONTOUR
PROPOSED 1' CONTOUR ROPOSED WALKING TRAIL Description of the soils proposed limits of disturby moodbridge loam (WdC), Survey. This soil type by respectively. An inspection schedule: qualified professional as addition, the NYSDEC Tracited in the Sedimentatic A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks. Description of erosion and sediment control practices: These plans, and details notes shown hereon serve to satisfy this SWPPP requirement. Background Information: wetland, flow splitter an ite map / construction equirement for erosion description and location of any stormwater discharges associated with industrial ivity other than construction at the site: There are no known industrial rmwater discharges present or proposed at the site. porary and permanent soil stabilization plan: The Sedimentation and Erosion trol Notes and Details provided hereon identify temporary and permanent bilization measures to be employed with respect to specific elements of the ject, and at the various stages of development. tification of any elements of the design that are not in conformance with the inical standard, "New York Standards and Specifications for Erosion and iment Control." All proposed elements of this SWPPP have been designed in ordance with the "New York Standards and Specifications for Erosion and

rial specifications, installation details, and operation and ents for all erosion and sediment control practices: The and Erosion Control Notes and Erosion and Sediment Control serve to satisfy this SWPPP requirement.

9. Any graded areas not subject to further disturbance or construction traffic shall, within 10 days of final grading, receive permanent vegetation cover in combination with a suitable mulch. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:

Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 50 pounds per acre in the following proportions:

Kentucky Bluegrass 20%
Perennial Ryegrass 20%
Annual Ryegrass 20%

• Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.

n drawing: This plan serves to satisfy this SWPPF control notes and details.

an / sequence of operations: The project will not be Sequence and Erosion and Sediment Control Maintenance sided. The Sedimentation and Erosion Control Notes a general sequence of operations for the proposed erosion and sediment control facilities shall be installed with land disturbing activities, and areas of disturbance shortest period of time as practicable. As less than five proposed all site activity can occur concurrently and does

The stabilized construction entrances, silt fence, and orange construction fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.

construction vehicles shall be kept clear of the watercourses and wetland control as outside the areas of proposed development. Silt fence and orange construction shall be installed in the areas where the grading is in close proximity of the tercourses or wetland control areas.

All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded with Lolium perenne aristatum or Lolium perenne multiflorum for temporary stabilization. Lolium perenne aristatum shall be used for winter seeding and colium perenne multiflorum shall be used for spring and summer seeding.

present at the site: Onsite soils located within the rbance consist of Paxton fine sandy loam (PnC) and as identified on the Soil Conservation Service Web Soil belongs to the Hydrologic Soil Group "C" and "D",

Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.

When land is exposed during development, the exposure shall be kept to the shortest oractical period of time, but in no case more than 14 days after the construction activity in that portion of the site has ceased. Disturbance shall be minimized in the arreas required to perform construction.

n drawing: These plans serves to satisfy this SWPPP etric design and details.

The subject project consists of the installation of pocket d associated piping.

Inspections are to be performed weekly and by a required by the General Permit GP-0-10-001. In rained Contractor shall perform additional inspections as ion and Erosion Control Notes.

10.

# EWATERING REQUIREMENTS avation dewatering kit consisting of a

20. The NYSDEC Trained Contractor shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.

All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.

Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.

Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the NYSDEC Trained Contractor.

Sedimentation and erosion control measures shall be inspected and maintained on a daily basis by the NYSDEC Trained Contractor to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of sediment and erosion control measures shall be immediately repaired by the contractor and for approval by the NYSDEC Trained Contractor and for site engineer.

As warranted by field conditions, special additional sedimentation and erosion control measures, as specified by the Engineer, the Town of Kent, and the EOHWC shal be installed by the contractor.

res shall remain in place until all disturbed areas are suitably

ctric trash pump with float switch, model #HS2.4S—61 as Imi Pumps or approved equal. 3000 GPH, max head 39 ft.

the electric trash pu

Erosion control mea stabilized.

(1) "Dirtbag" Removal Device.

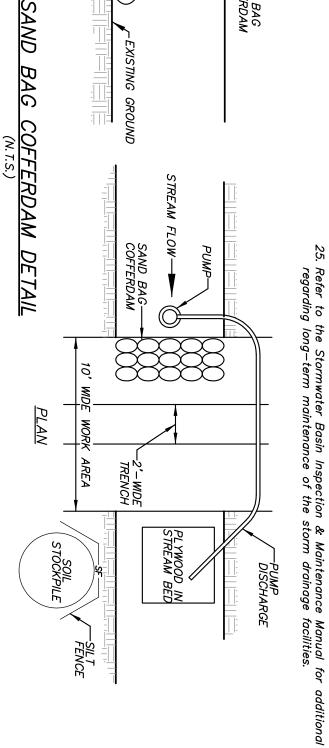
(3) 4' X 8'

(100 LF) silt fence

(1) Generator (100 LF) 2" hose (20) Haybales CY) 3/4"

Maintain basin vegetation including removal of trees and replacement of vegetation that should die. Remove any litter which accumulates as necessary. Typically, the accumulated silt will be required to be removed every 10 to 20 years. Any accumulated silt shall be removed from the stormwater basins once the site has been stabilized.

Inspection of the stormwater basin should be performed every 6 months and after large storm events. These inspections should, at a minimum, check the outlet pipes for blockage and the general overall integrity of the basin and appurtenances.



(N.T.S.)					
	1	7-27-18	ISSUED FOR BIDDING		EJP
	NO.	DATE	REVISION		ВҮ
Toci,			INSINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.	3 Garrett Place Carmel, NY 10512 (845) 225–9690 (845) 225–9717 fax www.insite-eng.com	×
- CURLEX 1 EROSION CONTROL BLANKET, OR APPROVED SUBSTITUTE, TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS	Ā ∴LO∃FONE	<u>ЕОН</u> и	: <u>ЕОНWC КЕNT-MB-602</u>		
PINS OR STAKES TO BE INSTALLED UFACTURER'S RECOMMENDATIONS	EDWARD DRA WING:	WARD RYAN M	EDWARD RYAN MEMORIAL PARK, TOWN OF KENT, NEW YORK  4 WING:  FROSION AND SEDIMENT		
		<i>EROSI</i>	EROSION AND SEDIMENT		

From: Highway Kent

Sent: Thursday, November 29, 2018 11:41 AM

To: Rich Othmer

Subject: Fw: Request to Install Livestock Crossing signs

From: Omer Fahim <ofm.fahim@yahoo.com>

Sent: Thursday, November 29, 2018 10:46 AM

To: Highway Kent

Subject: Fw: Request to Install Livestock Crossing signs

Hello,

My name is Omer Fahim - I own a farm located at 169 Dean Rd. Stormville NY 12582. My property is split in two by Dean Rd. (115 Acres on one side, 39 Acres on the other side). I have several animals on the farm which regularly cross over Dean Road.

I was wondering if we could place 2 Livestock Crossing signs one on each side of Dean Rd. near the farm.

I can purchase the signs my self and place them but I wanted to check if that would cause any issues.

Let me know if I'm contacting the right department or if this should be forwarded to another office.

Thanks,

Omer Fahim

#### **Tamara Harrison**

From:

Planning Kent

Sent:

Friday, November 30, 2018 9:57 AM

To:

Maureen Fleming

Cc:

Lana Cappelli; Tamara Harrison; Nancy Tagliafierro (ntag@hoganandrossi.com)

Subject:

Roncallo Erosion Control Bond - Resolution 21 2018

Attachments:

Resolution 21 Roncallo Bond Nov 2018.pdf

Please find attached an Erosion Control Bond and supporting documentation for the Roncallo property. The Planning Board asked that the Town Board review this material, and if they agree with the Planning Board's recommendation, to accept this bond in the amount of \$7,730.00 and a check for the final inspection in the amount of \$1,000.00

Vera Patterson Kent Planning Board 25 Sybil's Crossing Kent, NY 10512 845-225-7802 (T) 845-306-5283 (F) planningkent@townofkentny.gov Town of Kent Planning Board

25 Sybil's Crossing Tel: 845-225-7802

email: planningkent@townofkentny.gov

Kent, NY 10512 Fax: 845-306-5283

**RESOLUTION 21** FOR RONCALLO PROPERTY Year 2018

Date:

November 29, 2018

From:

The Kent Planning Board

To:

The Kent Town Board:

Maureen Fleming, Supervisor - w/Att.

Bill Huestis, Deputy Supervisor

Paul Denbaum Jaimie McGlasson

Nancy Tagliafierro

- w/Att

Christine Woolley

CC:

W. Walters, Building Inspector - w/Att

Tamara Harrison -w/Att. -w/Att

L. Cappelli, Town Clerk Finance Department - w/Att.

Re:

Request to Accept Erosion Control Bond

Paul Roncallo 106 Tibet Drive Carmel, NY 10512

Property:

A Vacant lot on Tibet Drive

Kent, NY TM: 30.20-1-15

Resolved: On November 8, 2018, the Kent Planning Board reviewed material submitted by John Karell, who represented Mr. Paul Roncallo, the owner of the property.

At Ms. Mangarillo's request on November 8, 2018, Mr. Tolmach asked for a motion to ask the Town Board to accept an erosion control bond in the amount of \$7,730.00 and an inspection fee of \$1,000.00. The motion was made by Giancarlo Gattucci and seconded by Charles Sisto. The roll call votes were as follows:

Phillip Tolmach, Chairman Aye Simon Carev <u>Aye</u> Giancarlo Gattucci Aye\_\_ Dennis Lowes <u>Aye</u> Charles Sisto Aye \_\_\_ Stephen Wilhelm Aye

The motion carried.

Sincerely,

Vera Patterson, Secretary Kent Planning Board

40 Garden Street

Poughkeepsie, NY 12601

Phone: (845) 452-7515 Fax: (845) 452-8335 E-Mail Address: jmangarillo@rsaengrs.com

Wilfred A. Rohde, P.E . Michael W. Soyka, P.E . John V. Andrews, Jr., P.E.

## Memorandum

To:

Planning Board Town of Kent Attn:

Philip Tolmach

Chairman

From:

Julie S. Mangarillo, P.E., CPESC

Subject:

Erosion Control Plan

Date:

November 11, 2018

Project:

Roncallo - Tibet Drive

TM # 30.20-1-15

The following materials were reviewed:

Response letter prepared by John Karell, Jr., PE, dated October 12, 2018

• Erosion control cost estimate prepared by John Karell, Jr., PE, dated June 15, 2018

Page 2 of Short Environmental Assessment Form (EAF)

Drawings prepared by John Karell, Jr., PE, including:

o S-1 Site Plan dated March 28, 2018, last revised 10/20/2018 with Health Department signature of 9/11/2018

This property received a Steep Slope and Erosion Control Permit in 2001 under the name "Cavallo". Construction on the project began and was suspended at some point. Currently there is a roughed-in driveway and a foundation. The approvals for the project have since expired. With the expiration of the prior approvals, a new application under the current code for Steep Slope and Erosion Control is being made.

The project is for a single family home with driveway, well and septic.

The subject Erosion and Sediment Control Plan is not approved. The following comments are provided for the Planning Board's consideration from a memo dated July 12, 2018:

- The proposed project is <u>not</u> within the NYCDEP East of Hudson watershed and will disturb less than 1 acre of land. Coverage under NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity, GP-0-15-002 is <u>not</u> required.
- 2. A Town of Kent Steep Slope & Erosion & Sediment Control Permit is required.
- Refer to the Drawings:
  - b. The proposed "Temporary siltation basin" Identify the circular hatch areas. If they are rock out croppings, they may interfere with the siltation basin. What is the long-term plan for the basin? It appears footing and roof drains are directed to it. Recommend creating a stabilized overflow to the 12" CMP under Tibet Drive.

Memorandum Roncallo ECP TM # 30.20-1-15 November 8, 2018 Page 2 of 2

- 9/27/2018 Label the circular hatch areas. Based on response letter it seems the temporary siltation basin will remain. Add a label or note indicating it is to remain.
- ii. 11/8/2018 The October 12, 2018 response letter states "The circular hatched areas are extraneous from the auto cad program. They are not rock outcrops. They are not germaine [sic] to this project and have been removed. The siltation basin will remain and is so noted."

Referring to the topographical survey prepared by Badey & Watson, dated May 26, 2010, which serves as the base map for the drawing set, the circular hatched areas are labeled as "boulders". There are three (3). The last revised S-1 has two (2) removed and one (1) remaining. These circular hatched areas should be restored and labeled as "boulders." Additionally, the survey has other information/labels that should be included on the S-1 drawing. For example, the hatched polygon next to the concrete foundation is labeled as "ledge" on the survey, but not labeled on S-1. The survey has "bottom of slope" and "top of slope" labeled for disturbed slopes. The survey has individual trees labeled.

11. The applicant is responsible for full payment of actual costs of erosion control inspections. An initial inspection fee deposit of \$1000 is to be paid to the Town in accordance with the Town of Kent Fee Schedule. – acknowledged.

#### **New Comments:**

- Revised drawing S-1 submitted has a Health Department approval signed 9/11/2018.
  The drawing also has a revision date of 10/20/2018. Presumably the revisions made after 9/11/2018 are regarding the erosion control permit review process. Provide a copy of the original, unaltered S-1 with Health Department approval signed 9/11/2018 with a separate drawing revised to address Erosion Control comments. Alternatively, have the Health Department re-sign the drawing after the 10/20/2018 revisions.
- 2. The applicant's engineer provided a bond estimate of \$6,930.00. We prepared a revised bond estimate to include the riprap swale at the overflow of the silt basin and end section with riprap pad for the discharge of the footing and roof drain. We recommend the bond estimate of \$7,730.00 dated 11/8/2018, prepared by this office be accepted for the bond amount and recommended for approval by the Town Board.

Julie 3. Mariganilo, F.E., CPESC

Attachment: Erosion Control Bond Estimate, dated 11/8/2018

cc: Planning Board via email Bill Walters via email

Bruce Barber via email 01-261-999-002

#### **Tamara Harrison**

From: Planning Kent

Sent: Friday, November 30, 2018 11:07 AM

To: Maureen Fleming

Cc: Accountant; Lana Cappelli; Nancy Tagliafierro (ntag@hoganandrossi.com); Tamara

Harrison

**Subject:** Bene Bond Return Resolution 20

Attachments: Bene Bond Return Resolution 20 Nov 2018.pdf

Please add this request to the next Town Board meeting agenda.

Thanks very much.

Vera Patterson
Kent Planning Board
25 Sybil's Crossing
Kent, NY 10512
845-225-7802 (T)
845-306-5283 (F)
planningkent@townofkentny.gov

Town of Kent Planning Board 25 Sybil's Crossing Tel: 845-225-7802

email: planningkent@townofkentny.gov

Kent, NY 10512 Fax: 845-306-5283

#### RESOLUTION #20 Year 2018

Date:

November 16, 2018

From:

The Kent Planning Board

To:

The Kent Town Board:

Maureen Fleming, Supervisor - w/Att.

Jaimie McGlasson Christine Woolley

Paul Denbaum

Bill Huestis

CC:

W. Walters, Building Inspector - w/Att

-w/Att

T. Harrison - w/Att. Finance Department - w/Att.

L. Cappelli, Town Clerk N. Tagliafierro

- w/Att.

Re:

Request to return Erosion Control Bond to:

Joseph Bene 10 Mt. Hope Road Mahopac, NY 10541 For Property located at:

226 Tibet Drive Kent, NY 10512 TM: 30.20-1-16

Resolved: On November 8, 2018 the Kent Planning Board reviewed material pertaining to the property noted above and agreed that it was appropriate to comply with the request to return an Erosion Control bond in the amount of \$8,035.52 to Joseph Bene.

Mr. Tolmach asked for a motion to forward a request to the Kent Town Board to take the above action. The motion was made by Mr. Lowes and seconded by Mr. Wilhelm . The roll call vote was as follows:

Phil Tolmach, Chairman <u>Aye</u> Simon Carev <u>Aye</u> Giancarlo Gattucci Aye Dennis Lowes Aye Charles Sisto <u>Aye</u> Stephen Wilhelm

The motion carried.

The Planning Board respectfully asks that, if the Town Board is in agreement, they pass a resolution decreeing that

I, Vera Patterson, Planning Board Secretary of the town of Kent, County of Putnam, State of New York, do hereby certify that the foregoing is a true excerpt from the minutes of a meeting of the Planning Board of the Town of Kent held on November 8, 2018.

Dated: November 16, 2018

Vera Patterson Planning Board Secretary Maureen - I gave you the atthe wrong Tax mays. Please do an amendment to this.

# TOWN OF KENT

25 Sybil's Crossing Kent Lakes, New York 10512

Yolanda D. Cappelli Town Clerk



Administrative Office Tel. (845) 225-2067 Pax. (845) 306-5282

30,20-1-16

342 RESOLUTION

Accept Erosion Control Bond TM#39-20-1-16 On a motion by Councilman Denbaum Seconded by Councilwoman McGlasson

WHEREAS, the Planning Board, at their meeting held on August 16, 2016, approved Resolution #11 of Year 2016 recommending that the Town Board accept an Erosion Control Bond in the amount of \$8,035.52 from the owners of a parcel of land located at Tibet Drive, Kent, New York, identified as Tax Map No. 33-20-1-16 (the "Lot"), with regard to the

WHEREAS, the Town Board of the Town of Kent wishes to follow the recommendations of the Planning Board;

NOW, THEREFORE BE IT RESOLVED, that the Town Board of the Town of Kent hereby accepts the recommendation of the Planning Board and approves the posting of an Erosion Control Bond in the amount of \$8,035.52 for the construction on the Lot.

I, Yolanda D. Cappelli, Town Clerk of the Town of Kent, do hereby certify that the above is a true and exact copy of a resolution adopted by the town board of the Town of Kent at a meeting of said board on September 13, 2016. September 15, 2016

#### **TOWN OF KENT**

**PLANNING BOARD** 25 Sybil's Crossing

Kent Lakes, NY 10512

Tel: (845) 225-7802 planningkent@townofkentny.gov

Fax: (845) 306-5283



RESOLUTION #11 Year 2016

Date:

August 16, 2016

From:

The Kent Planning Board

To:

The Kent Town Board:

Maureen Fleming, Supervisor

Scott Chin Paul Denbaum Bill Huestis Jaimie McGlasson

CC:

W. Walters, Building Inspector - w/Att

L. Cappelli, Town Clerk

J. Ramos - w/Att.

Finance Department - w/Att. .

Re:

Request to Accept Erosion Control Bond

Joseph Bene, Tibet Drive, Kent, NY; TM: 30.20-1-16

Resolved: On July 14, 2016 the Kent Planning Board reviewed material submitted by Mr. Bart Lansky, who represented Mr. Joseph Bene, the owner of the property mentioned above. Mr. Lansky requested that the Kent Planning Board accept an Erosion Control Bond in the amount of \$8,035.52. This project involves construction of a single-family residence.

- w/Att

Mr. McDermott asked for a motion to forward a request to the Kent Town Board to take the above action. The motion was made by Mr. Brunner and seconded by Mr. Tolmach. The roll call vote was

Michael McDermott, Chairman Dennis Lowes, Vice Chairman <u>Aye</u> Gary Lam **Absent** Aye Janis Bolbrock Charles Sisto <u>Aye</u> <u>Aye</u> George Brunner Philip Tolmach Aye <u>Aye</u>

The motion carried.

The Planning Board respectfully asks that, if the Town Board is in agreement, they pass a resolution

I, Vera Patterson, Planning Board Secretary of the town of Kent, County of Putnam, State of New York, do hereby certify that the foregoing is a true excerpt from the minutes of a meeting of the Planning Board of the Town of Kent held on July 14, 2016.

Dated: August 16, 2016

Vera Patterson

Planning Board Secretary

Town of Kent Planning Board 25 Sybil's Crossing Tel: 845-225-7802

email: planningkent@townofkentny.gov

Kent, NY 10512 Fax: 845-306-5283

Date:		RESOLUTION #11
Daig;	August 16, 2016	Year 2016
From:	The Kent Planning Board	
To:		
	The Kent Town Board:  Maureen Fleming, Supervisor - w/Att.  Scott Chin Paul Denbaum  Bill Huestis  Jaimie McGlasson	
CC:	W. Walters, Building Inspector - w/Att	· · ·
	L. Cappelli, Town Clerk - w/Att	J. Kamos - w/Att.
	wat \	Finance Department w/Att.
Re:	Request to Accept Erosion Control Bond	/ \
	Joseph Bene, Tibet Drive, Kent, NY; TM. 3 On property owned by Mr. Apperil X	33.20-1-16
	On property owned by Mr. Anavil, Long Mon	untain Road, Kent NV The
Resolvado o		1M; 8'-15
A shouldest		

Resolved: On July 14, 2016 the Keni Planning Board reviewed material submitted by Mr. Bart Lansky, who represented Mr. Joseph Bene, who owns the property mentioned above. Mr. Lansky requested that the Kent Planning Board accept an Erosion Control Bond in the amount of \$8,035.52. This project involves construction of a single-

Mr. McDermott asked for a motion to forward a request to the Kent Town Board to take the above action. The motion was made by Mr. Brunner and seconded by Mr. Tolmach. The roll call vote was as follows:

Michael McDermott, Chairman	and seconded by Mr. To	olmach. The roll call	ote was as fol
Dennis Lowes, Vice Chairman Janis Bolbrock George Brunner The motion cerried	Aye	Gary Lam Charles Sisto Philip Tolmach	Absent Ave Ave

The motion carried.

The Planning Board respectfully asks that, if the Town Board is in agreement, they pass a resolution decreeing that

I, Vera Patterson, Planning Board Secretary of the town of Kent, County of Putnam, State of New York, do hereby certify that the foregoing is a true excerpt from the minutes of a meeting of the Planning Board of the Town of Kent Dated: August 16, 2016

Vera Patterson Planning Board Secretary

Town of Kent Planning Board 25 Sybil's Crossing

Tel: 845-225-7802

email: planningkent@townofkentny.gov Kent, NY 10512

Fax: 845-306-5283

# lemorandum

DATE:

August 16, 2016

TO:

Finance Department

CC:

FROM:

Vera Patterson

RE:

Recommendation to the Kent Town Board to accept an Erosion Control Bond

Tibet Drive, Kent, NY; TM: 30.20-1-16

Please find attached the following items pertaining to the project noted above:

Chase Bank Check 9777007129

\$ 5,535.52

\$ 2,500.00

Chase Bank Check 9545406150 Total

\$8,035.52

Steep Slope & Erosion Control Permit Approval Resolution, July 14, 2016 Memo from Julie Mangarillo, dated July 20, 2016, pertaining to bond agreement Resolution 11

The Planning Board is also submitting this material to the Kent Town Board recommending that the Town Board accept this bond, Please hold these checks until the Town Board passes their Resolution accepting the bond. Thanks very much.



#### **CODE ENFORCEMENT**

#### OF THE TOWN OF KENT, PUTNAM COUNTY, N.Y. 10512 845-306-5598

December 03, 2018

From: Zoning Enforcement Officer, Town of Kent:

To: Supervisor Fleming, Town board members, Town of Kent:

Subject: Violation requiring town corrective action:

On August 15<sup>th</sup> of this year the Town Board of the Town of Kent approved a resolution for a vendor identified here as Johnson's Tree Service to remove two trees, one standing, and one fallen from 8 Teatown Court in the town of Kent. Subsequent to this action the homeowner removed the fallen tree but not the standing one. The undersigned contacted the vendor and requested a new reduced price for the tree still standing.

Enclosed please find original violation and the new fee presented by the vendor.

Location requiring correction:

8 Teatown Court Tax# 33.65-1-36

For your consideration and approval.

William Looney,

Zoning Enforcement Officer,

Town of Kent.



#### **CODE ENFORCEMENT**

OF THE TOWN OF KENT, PUTNAM COUNTY, N.Y. 10512 845-306-5598

### ORDER TO REMEDY VIOLATION

Location: 8 Teatown Ct Kent, NY

Map NO: 33.65-1-36

Date: 7/5/2018

TO:

Joe DeMonico PO BOX 132 Eastchester, NY 10709-0132

# PLEASE TAKE NOTICE: THERE EXISTS A VIOLATION OF:

Town of Kent Municipal Code\Chapter 55 A Property Maintenance Code (B) (1) (C)

at premises hereinafter described in that:

DANGEROUS TREE: THERE EXISTS ON SITE DANGEROUS TREES POSING A THREAT TO THE HEALTH AND SAFETY OF THE HOMEOWNER OR OF ADJACENT PEOPLE AND PROPERTY.

OWNER HAS TEN DAYS FROM THIS DATE TO SUBMIT A PLAN TO THIS OFFICE TO REMOVE THE DANGER PRESENTED BY THE INDICATED TREES. IF THE ABOVE LISTED VIOLATION IS NOT CORRECTED, NOR NOTICE RECEIVED, THE TOWN OF KENT WILL CONTRACT WITH A VENDOR TO ADDRESS THE ISSUE AND THE FEE THE COMPANY PRESENTS WILL BE CHARGED TO THE PROPERTY OWNERS. IF THE PROPERTY OWNERS FAIL TO PAY THE BILL THE DEPT WILL BE ATTACHED TO THE OWNER'S TAX BILL PAYABLE ON THE NEXT INSTALLMENT.

YOU ARE THEREFORE DIRECTED AND ORDERED to comply with the law and remedy the conditions above mentioned within ten days from this date. Failure to remedy the conditions aforesaid and to comply with the law and may constitute an offense punishable by fine or imprisonment or both.





#### Lana Cappelli

Wed 8/15/2018 11:14 AM

To: Code- Enforcement < code-enforcement@townofkentny.gov >;

#### Authorize Correction of Violations, Acceptance of Proposal & Charge to Property Owners

On a motion by Councilwoman Woolley Second by Councilwoman McGlasson

WHEREAS, the Code Enforcement Officer of the Town of Kent issued an Order to Remedy a Violation (the "Order to Remedy Removal of Brush") directing the owners to remove rubbish, excess weed, grass and brush growth from the following properties:

> 69 Clubhouse Drive Tax Map 33.35-1-46 32 Palmer Trail Tax Map 44.6-2-32; and

WHERAS, the Code Enforcement Officer of the Town of Kent issued an Order to Remedy a Violation (the "Order to Remedy the Dangerous Tree") directing the owners to remove a dangerous tree from the exterior of the following properties in the Town of Kent:

> 35 Larchmont Road Tax Map No. 33.50-1-44 8 Teatown Court Tax Map No. 33.65-1-36; and

WHEREAS, the Order to Remedy requires each owner to correct the violations or respond to the Code Enforcement Office within ten days and, to date, the owners of the Properties have not responded; and

WHEREAS, pursuant to Chapter 55A of the Town Code of the Town of Kent regarding "Property Maintenance", upon the failure of any owner to comply, the Building Inspector is authorized to correct a violation subject to the approval of the Town Board; and the Town Board wishes to authorize the Building Inspector to correct the violations; and

WHEREAS, consistent with the Town's Procurement Policy, the Town of Kent requested three written proposals from contractors to correct the violations on the Properties and received proposals in response copies of which are annexed hereto and incorporated by reference; and

WHEREAS, the Town Board wishes to accept the lowest proposals submitted on the properties as further outlined below:

69 Clubhouse Drive	\$3,000	Johnson's Tree Service
32 Palmer Trail	\$ 300	FI Adams Inc.
35 Larchmont Road	\$1,500	Bill Henry Tree Service
8 Teatown Court	\$1,466	Johnson's Tree Service;

NOW, THEREFORE, BE IT RESOLVED, that the Town Board of the Town of Kent hereby accepts the proposals of Johnson's Tree Service, FI Adams Inc., and Bill Henry Tree Service, as described above for a total cost not to exceed \$6,266; and

BE IT FURTHER RESOLVED, that the actual cost of the correction of the violation, plus the accrued legal rate of interest from the date of completion of the work, shall be charged to the property owner by the Town in accordance with https://mail.putnamcountyny.gov/owa/#viewmodel=ReadMessageItem&ItemID=AAMkADg5NGJmNmEyLWQ2M2UtNDk1YS05MWQ5LTYwYzljNTc1M... 1/2 Chapter 55A-12(B). Motion carried unanimously





1361 Route 52, Carmel, NY 10512

Phone: 845-878-7569

Email: johnsonswoodpile@aol.com Website: www.johnsonstreeserviceinc.com

Name/Address
William Looney
Town of Kent Building Department
25 Sybil's Crossing
Kent Lakes, NY 10512

Date	Estimate No.	Project
06/22/18	188	-4.00

Item	Description	Quantity	Cost	Total
	For: 8 Teatown Court, Carmel, NY			
Tree Work	Take down dead tree in front - Remove wood, chip brush, clean up.	1	1,000.00	1,000.00
	Putnam County Sales Tax		8.375%	0.00
		Total		<b>#4 000 00</b>
		Total		\$1,000.00





1361 Route 52, Carmel, NY 10512

Phone: 845-878-7569

Email: johnsonswoodpile@aol.com Website: www.johnsonstreeserviceinc.com

Name/Address
William Looney
Town of Kent Building Department
25 Sybil's Crossing
Kent Lakes, NY 10512

Date	Estimate No.	Project
06/22/18	188	

Item	Description	Quantity	Cost	Total
	For: 8 Teatown Court, Carmel, NY			
ree Work	Downed tree in front and dead tree in front	1	1,600.00	1,600.00T
	Putnam County Sales Tax		8.375%	134.00
				\$140
			/	
		Total		\$ <del>1,734.00</del>