

Town of Kent Planning Board
September 17, 2015

Approved: October 8, 2015

**Minutes
Town of Kent Planning Board Meeting
September 17, 2015**

Following the Pledge of Allegiance, the meeting was called to order at 7:30 PM by Mr. Michael McDermott, Chair of the Town of Kent Planning Board.

In attendance were the following Planning Board members:

Michael McDermott, Chair
George Brunner
Philip Tolmach

Janis Bolbrock, Vice Chair
Charles Sisto
Glenna Wright

Others in Attendance:

Bruce Barber, Environmental Consultant
Bill Rohde, Engineering Consultant

Bill Walters, Kent Building Inspector
Neil Wilson, Planner

Absent:

Julie Mangarillo, Engineering Consultant

Dennis Lowes

• **Approve Planning Board Minutes from August 2015**

Mr. McDermott asked for a motion to accept the Planning Board minutes as submitted for August 13, 2015. Ms. Wright and it was seconded by Mr. Tolmach. The roll call vote was as follows:

Mike McDermott	<u>Aye</u>
Janis Bolbrock	<u>Aye</u>
George Brunner	<u>Aye</u>
Dennis Lowes	<u>Absent</u>
Charles Sisto	<u>Aye</u>
Philip Tolmach	<u>Aye</u>
Glenna Wright	<u>Aye</u>

The motion carried.

• **Towners Road Mart (Sclafani Garage), 2 Towners Road, Carmel, NY; TM: 33.64-1-6**

The applicant requested permission to remove garage doors and install a new entrance and expand a convenience store. This was an Amended Site Plan/Change of use and a Public Hearing.

Mr. McDermott asked for a motion to open the Public Hearing. The motion was made by Ms. Bolbrock and seconded by Mr. Tolmach. The roll call vote was as follows:

Mike McDermott	<u>Aye</u>
Janis Bolbrock	<u>Aye</u>
George Brunner	<u>Aye</u>
Dennis Lowes	<u>Absent</u>
Charles Sisto	<u>Aye</u>
Philip Tolmach	<u>Aye</u>
Glenna Wright	<u>Aye</u>

The motion carried.

Mr. Robert Cameron of Putnam Engineering represented the applicant. He explained that the applicant wishes to remove the garage bay and small office and convert it into a convenience store. The parking spaces will be remarked and a dumpster will be placed in the rear. Parking for the tenants and employees will also be in the rear. Traffic patterns will remain the same as the present time.

Mr. McDermott asked if anyone in the audience wished to speak. Ms. Magda Kociuba-Jaeger, of 405 Nichols Street, Kent, NY asked to be heard. She asked if there would be another opportunity to speak at a Public Hearing and Mr. McDermott advised her that the Public Hearing may be held over for another month and she could submit comments in writing.

Mr. Barber's Comments (memo attached)

Mr. Barber said that he had inspected the site and found that this property is 102' away from the lake, but outside of the 100' setback and would not need a wetland permit. However, he recommended that some sort of stormwater management structure should be installed in order to prevent any potential spills from getting into the lake. He said that there is still an active spill on the site and asked for more information pertaining to it. Mr. Tolmach asked where the spill was and Mr. Barber said it was behind the building and that there were some wells which were not tested and needed to be.

Mr. Rhode's Comments (memo attached)

Mr. Rhode's comments were:

1. Contour elevations should be indicated on the layout plan.
2. Use of the lower level having the entry on the north side should be explained. And if there are overhead doors to the lower level, how many will remain.
3. The gravel ramp on the north side of the site was previously asphalt in poor condition and had been re-surfaced with gravel. Notes needed to be revised to specify that the ramp was previously paved with asphalt to avoid having NYCDEP consider it to be an additional area of impervious surface.

4. Asked if the second floor apartment will remain and how it will be accessed.
5. Mr. Rhode said he had no objection to granting waivers per Chapter 77 "Site Plan Approval", Sub-section 77-60 as indicated on Drawing C-110.

Mr. McDermott noted that Mr. Wilson, who was not in attendance, recommended that this matter be held over until October in order to get more information regarding the spill.

Mr. Sisto asked about how trucks will be turning around to pick up the dumpster. He also said he had concerns about vehicles pulling into the pumps and that there may be problems with the parking spaces. Mr. Cameron assured him that there will be no problem picking up the dumpster in the rear.

Mr. McDermott asked for a motion to adjourn the Public Hearing until the October 8, 2015 meeting. The motion was made by Mr. Brunner and seconded by Ms. Wright. The roll call vote was as follows:

Mike McDermott	<u>Aye</u>
Janis Bolbrock	<u>Aye</u>
George Brunner	<u>Aye</u>
Dennis Lowes	<u>Absent</u>
Charles Sisto	<u>Aye</u>
Philip Tolmach	<u>Aye</u>
Glenna Wright	<u>Aye</u>

The motion carried.

- **Kent Countryside Nursery, 480 Route 52, Kent, NY; TM: 33.56-1-14**

Fred and Joe Kussins, the applicants, were present for the meeting. The applicant was seeking approval to temporarily sell seasonal nursery stock on the corner of Dunwoodie Road and Route 52. A Shed would be constructed to use as a cashier's office and it would be open from April 15 through December 25th. They previously did this on another piece of property on Route 52.

Mr. McDermott read a memo from Mr. Neil Wilson (attached). It was also noted that the application needed to be submitted to the Putnam County Department of Planning for review pursuant to GML 239-m.

Mr. Barber's Comments (memo attached)

Mr. Barber said that the wetlands are on the other side of Route 52, but the wetland buffer of 100' reflected on the subject property. Mr. Barber said some of the mulching on the front would be in the buffer and confirmed that the applicant had amended the application and applied for a wetland permit. He asked that the wetland buffer be shown on the drawing and it was agreed to use the northern edge of Route 52 as the measuring point to create the dimension of 100'. The planting bed in the buffer appeared to be covering some of the stormwater management and that needs to be corrected.

Mr. Rhode's Comments (memo attached)

Mr. Rhode confirmed that he and the other consultants would inspect the property on September 18, 2015. He asked if any activity would occur between the block foundation and Chauncey Road. The applicant said they would not be using that area, but may use the area above for parking. The applicant said they would try to make the property more attractive, especially on Route 52.

Mr. Kussins said that all the structures would be temporary and similar to what they had constructed at the previous location. Mr. Brunner asked about the parking area utilized by Mr. Healey and the applicant said that Healey's would continue to use it when they weren't using it and had an agreement with the owner, who they are leasing the property from. This would only be used to display their nursery stock and not to grow any. Mr. McDermott asked if the drawings addressed Item 3 on Mr. Wilson's memo. Mr. Kussins said that the well was shown on the drawing, a 5 gallon water cooler would be on the property. They would create the handicapped parking spaces required. Lighting would only be used during the Christmas season.

Mr. McDermott mentioned that previously it was agreed to waive all the items in a Public Hearing and asked if the Planning Board would grant a waiver again. Ms. Bolbrock, Mr. Sisto, Ms. Wright and Mr. Brunner all agreed that the applicant had done a good job at the previous property and thought it was appropriate to do so again. Mr. McDermott asked for a motion to waive the Public Hearing. The motion was made by Mr. Brunner and seconded by Mr. Tolmach. The roll call vote was as follows:

Mike McDermott	<u>Aye</u>
Janis Bolbrock	<u>Aye</u>
George Brunner	<u>Aye</u>
Dennis Lowes	<u>Absent</u>
Charles Sisto	<u>Aye</u>
Philip Tolmach	<u>Aye</u>
Glenna Wright	<u>Aye</u>

The motion carried.

Mr. McDermott asked for a motion to grant conditional approval to this project pending review and approvals from the Planning Board consultants of the new material. The motion was made by Mr. Brunner and seconded by Ms. Wright. The roll call vote was as follows:

Mike McDermott	<u>Aye</u>
Janis Bolbrock	<u>Aye</u>
George Brunner	<u>Aye</u>
Dennis Lowes	<u>Absent</u>
Charles Sisto	<u>Aye</u>
Philip Tolmach	<u>Aye</u>
Glenna Wright	<u>Aye</u>

The motion carried.

Mr. Barber asked if the project should proceed administratively and Mr. McDermott agreed that it should be handled administratively if all of the conditions were met and approved by the Planning Board consultants.

• **Hartshorn Professional Park, Ludingtonville Road, Kent, NY; TM: 12.-1-88**

This application was for a site plan reapproval review. Mr. John Watson, of Insite Engineering, represented the applicants. Two months ago Insite had asked for and received an extension. The re-submitted plans recently.

Mr. Barber's Comments (memo attached)

Mr. Barber said he had inspected the property and that, other than a small shed and some boulders at the demarcation of the wetland buffer, the plans remained the same as the ones approved previously.

Mr. Rhode's Comments

Mr. Rhode had no additional comments

Mr. Wilson's Comments

Mr. Wilson had no comments.

Mr. McDermott asked for a motion to grant the site plan re-approval. The motion was made by Mr. Tolmach and seconded by Ms. Bolbrock. The roll call vote was as follows:

Mike McDermott	<u>Aye</u>
Janis Bolbrock	<u>Aye</u>
George Brunner	<u>Aye</u>
Dennis Lowes	<u>Absent</u>
Charles Sisto	<u>Aye</u>
Philip Tolmach	<u>Aye</u>
Glenna Wright	<u>Aye</u>

The motion carried.

• **Morini Property, China Circle Court, Kent, NY; TM: 42.8-1-2**

Mr. John Watson, of Insite Engineering, requested re-approval of an erosion control plan for one that will be expiring shortly.

Mr. McDermott asked for a motion to grant an extension of the erosion control permit, which expires November 13, 2015 to expire November 13, 2016, and move it to the administrative tract. The motion was made by Mr. Tolmach and seconded by Mr. Sisto. The roll call vote was as follows:

Mike McDermott	<u>Aye</u>
Janis Bolbrock	<u>Aye</u>
George Brunner	<u>Aye</u>
Dennis Lowes	<u>Absent</u>
Charles Sisto	<u>Aye</u>
Philip Tolmach	<u>Aye</u>
Glenna Wright	<u>Aye</u>

The motion carried.

- **China Barrett Homeowner's Association, Sedgewood Club, Kent, NY; TM: 42.11-1-8**

Mr. John Watson, of Insite Engineering, represented the applicant. The applicant received half of their erosion control bond back in November of 2014 and the second half in the amount of \$48,770.00 was to be held until August of 2015. They sent a note on August 13, 2015 requesting the remainder be returned.

Mr. Barber's Comments (memo attached)

Mr. Barber said he had inspected the property and did not object to returning the money to the applicant and confirmed that the property has been stabilized.

Mr. Rhode's Comments (memo attached)

Mr. Rhode agreed with Mr. Barber that the property was stabilized and also recommended that the bond be released.

Mr. McDermott asked for a motion to ask the Town Board to release the remaining money in the erosion control bond. The motion was made by Mr. Tolmach and seconded by Ms. Bolbrock. The roll call vote was as follows:

Mike McDermott	<u>Aye</u>
Janis Bolbrock	<u>Aye</u>
George Brunner	<u>Aye</u>
Dennis Lowes	<u>Absent</u>
Charles Sisto	<u>Aye</u>
Philip Tolmach	<u>Aye</u>
Glenna Wright	<u>Aye</u>

The motion carried.

- **Excel Printing, Route 52, Kent, NY; TM: 33.18-1-15**

Excel Printing requested that their erosion control bond be returned.

Mr. Rhode's Comments

Mr. Rhode advised the Board that he and Mr. Walters had inspected the property on August 21., 2015 and everything was stabilized and recommended that the Planning Board ask the Town Board to release the bond. Mr. McDermott asked for a motion to return the bond and it was made by Mr. Brunner and seconded by Ms. Wright. The roll call vote was as follows:

Mike McDermott	<u>Aye</u>
Janis Bolbrock	<u>Aye</u>
George Brunner	<u>Aye</u>
Dennis Lowes	<u>Absent</u>
Charles Sisto	<u>Aye</u>
Philip Tolmach	<u>Aye</u>
Glenna Wright	<u>Aye</u>

The motion carried.

• **Fichter Property, 11 Beach Court, Kent, NY; TM: 21.13-1-25**

The applicant requested that their erosion control bond be released.

Mr. Barber's Comments (memo attached)

Mr. Barber inspected the property and said that an area close to Beach Court in the wetland buffer was not to have been disturbed in order to prevent runoff from the site and he noted vegetation had been removed. He asked that the Planning Board have the applicant provide a mitigation plan to replace the vegetation by the next meeting in order to get it in before the winter. He also mentioned that a swale at the base of the property has not been constructed where it meets Beach Court and needs to be constructed in order to carry runoff and filter it. He did not recommend the bond be released. Mr. Rhode agreed with Mr. Barber's recommendations. Mr. McDermott confirmed that the bond should not be released at this time.

• **Patterson Crossing, Route 311, Kent, NY; RM: 22.-2-48**

The applicant is requesting two 90 day (total of 180 days) time extensions for this project, which is to expire October 9, 2015.

Mr. Sisto and Ms. Wright recused themselves.

Mr. Wilson's Comments (memo and Resolution attached)

Mr. McDermott read the draft Resolution for Site Plan, Freshwater Wetland and Steep Slope and Erosion Control Permits submitted by Mr. Wilson. This is a time extension only to allow the applicant completions of the approvals as set forth in the Resolution approved on October 9, 2014 and the conditions remain unchanged and in force and in effect. Mr. McDermott asked for a motion to adopt the Resolution

Mr. Tolmach stated that he knew of no legal or procedural reason to deny this request, but that he had never felt this was a good idea for the Town of Kent and wished to abstain.

The motion was made by Mr. Brunner and seconded by Ms. Bolbrock. The roll call vote was as follows:

Mike McDermott	<u>Aye</u>
Janis Bolbrock	<u>Aye</u>
George Brunner	<u>Aye</u>
Dennis Lowes	<u>Absent</u>
Charles Sisto	<u>Recused</u>
Philip Tolmach	<u>Abstained</u>
Glenna Wright	<u>Recused</u>

The motion did not carry.

• Lipkin Property, 85 Birch Court, Kent, NY; TM: 32.-1-35

The applicant requested that their erosion control plan be returned.

Mr. Barber's Comments (memo attached)

Mr. Barber confirmed that the consultants had inspected this property and that it has been stabilized. He suggested that if the bond has not been in effect for two years, as is the usual procedure, that this be waived and he recommended that the Planning Board ask the Town Board to release this bond at this time.

Mr. McDermott asked for a motion to recommend the Town Board waive the two year waiting period to release this erosion control bond and release it at this time. The motion was made by Mr. Tolmach and seconded by Ms. Bolbrock. The motion was made by Mr. Brunner and seconded by Ms. Bolbrock. The roll call vote was as follows:

Mike McDermott	<u>Aye</u>
Janis Bolbrock	<u>Aye</u>
George Brunner	<u>Aye</u>
Dennis Lowes	<u>Absent</u>
Charles Sisto	<u>Aye</u>
Philip Tolmach	<u>Aye</u>
Glenna Wright	<u>Aye</u>

The motion carried.

Permit Applications Review (Applicants attendance not required/Workshop Discussion):

- | | | |
|---|---|-------------------------------|
| • Hilltop Estates (Kent Development Corp)
Peckslip Road, Kent, NY
TM: 12.-1-38 & 42 | Subdivision/Erosion Control/
Extension | Status Report
Bond/Pending |
|---|---|-------------------------------|

We're awaiting additional information pertaining to the bond.

- | | | |
|---|-------------------|---------------|
| • Kent Materials (Mountain View)
Route 52, Kent, NY
TM: 12.-1-44 & 12.-1-48 | Amended Site Plan | Status Report |
|---|-------------------|---------------|

We've not received any new material, but have been advised that there will be new material submitted shortly.

- | | | |
|---|---------------------------|-------------------------------|
| • Staley Company
5 Bowen Court, Kent, NY
TM: 12.-1-69 | Erosion Control/Site Plan | Status Report
Bond Pending |
|---|---------------------------|-------------------------------|

Bond is pending, but nothing new has been submitted.

- | | | |
|--|---------------------------|---------------|
| • Patrick O'Mara Property
Woodland Road/Nimham Court, Kent, NY
TM: 20.20-1-3 | Erosion Control/Site Plan | Status Report |
|--|---------------------------|---------------|

Nothing new has been submitted.

- Lema/Route 52 Corp
Route 52, Kent, NY
TM: 33.18-1-6, 7, 8, 9

Site Plan/Wetland Permit

Status Report

Mr. Barber visited the site and confirmed the wetland delineation, but has not received additional information.

- Gipsy Trail/Paddle & Tennis Court
Kent, NY
TM: 32.-1-25

Amended Site Plan

Status Report

Mr. Barber inspected the property and confirmed that the area of disturbance is more than 100' away from the pond and watercourse in the back in the parking area. He is awaiting additional information on this project.

- Biben Property
146 South Knapp Court, Kent Lakes, NY
TM: 10.-1-1

Erosion Control/Site Plan/
Wetland Permit

Status Report

Mr. Barber asked the applicant's engineer to schedule a meeting with the Board of Health to witness a soil test and to inspect the septic system, but to date this has not been done.

- Schulhof-Kravits
8 Cat Briar Road/Gipsy Trail, Kent, NY
TM: 21.19-1-10

Erosion Control

Status Report

Nothing new has been submitted.

Mr. McDermott asked for a motion to adjourn the meeting at 8:45. The motion was made by Mr. Sisto and seconded by Mr. Tolmach. The roll call vote was as follows:

- | | |
|----------------|---------------|
| Mike McDermott | <u>Aye</u> |
| Janis Bolbrock | <u>Aye</u> |
| George Brunner | <u>Aye</u> |
| Dennis Lowes | <u>Absent</u> |
| Charles Sisto | <u>Aye</u> |
| Philip Tolmach | <u>Aye</u> |
| Glenna Wright | <u>Aye</u> |

The motion carried.

Respectfully Submitted,

Vera Patterson

Vera Patterson
Planning Board Secretary

cc: Planning Board Members
Building Inspector
Town Clerk

SEPTEMBER 2015 AGENDA

Workshop:

September 03, 2015 (Thursday, 7:30 PM) (Cancelled)
September 17, 2015 (Thursday, 7:30 PM)
(Rescheduled from September 10, 2015)

Meeting:

- Approve Planning Board Minutes from August 2015
 - Towners Road Mart (Sclafani Property)
2 Towners Road, Carmel, NY
TM: 33.64-1-6 Public Hearing &
Amended Site Plan/Change of Use Review
 - Kent Countryside Nursery
480 Route 52, Kent, NY
TM: 33.56-1-14 Site Plan Review
 - Hartshorn Professional Park
Ludingtonville Road, Kent, NY
TM: 12.-1-88 Site Plan Re-Approval Review
 - Morini Property
China Circle Court, Kent, NY
TM: 42.8-1-2 Erosion Control Permit
Request for Extension Review
 - China Barrett Association
Barrett Hill Road & China Circle Ct., Kent, NY
TM: 42.11-1-8 Erosion Control/Stormwater Bond
Request to Release Bond Review
 - Excel Printing
Route 52, Kent, NY
TM: 33.18-1-15 Erosion Control Bond
Request to Release Bond Review
 - Fichter Property
11 Beach Court, Kent, NY
TM: 21.13-1-25 Erosion Control Bond
Request to Release Bond Review
 - Patterson Crossing
Route 311, Kent, NY
TM: 22.-2-48 Site Plan/
Request for Time Extension Status Report
Bond/pending
 - Lipkin Property
85 Birch Court, Kent, NY
TM: 32.-1-35 Erosion Control Final Inspection
Release Erosion Control Bond Review
- Permit Applications Review (Applicants attendance not required/Workshop Discussion):
- Hilltop Estates (Kent Development Corp)
Peckslip Road, Kent, NY
TM: 12.-1-38 & 42 Subdivision/Erosion Control Bond/
Extension Status Report
Bond/Pending
 - Kent Materials (Mountain View)
Route 52, Kent, NY
TM: 12.-1-44 & 12.-1-48 Amended Site Plan Status Report
Bond/pending
 - Staley Company
5 Bowen Court, Kent, NY
TM: 12.-1-69 Erosion Control/Site Plan Status Report
Bond/Pending
 - Patrick O'Mara Property
Woodland Road/Nimham Circle
TM: 20.20-1-3 Erosion Control/Site Plan Review
 - Lema/Rte 52 Corp
Route 52, Kent, NY
TM: 33.18-1-6, 7, 8, 9 Site Plan /Wetland Permit Status Report

- Gipsy Trail/Paddle & Tennis Court
Kent, NY
TM: 32.-1-25
- Biben Property
146 South Knapp Court, Kent Lakes, NY
TM: 10.-1-1
- Schulhof-Kravits
8 Cat Briar Road/Gipsy Trail, Kent, NY
TM: 21.19-1-10

Amended Site Plan

Status Report

Erosion Control/Site Plan/
Wetland permit

Status Report

Erosion Control

Status Report

Rev. 9/17/15

SEPTEMBER 2015
AGENDA

September 03, 2015 (Thursday, 7:30 PM) (Cancelled)
September 17, 2015 (Thursday, 7:30 PM)
(Rescheduled from September 10, 2015)

Workshop:
Meeting:

- | | | |
|--|--|--|
| - Approve Planning Board Minutes from August 2015 | | |
| - Towners Road Mart (Sclafani Property)
2 Towners Road, Carmel, NY
TM: 33.64-1-6 | Public Hearing &
Amended Site Plan/Change of Use | Review |
| - Kent Countryside Nursery
480 Route 52, Kent, NY
TM: 33.56-1-14 | Site Plan | Review |
| - Hartshorn Professional Park
Ludingtonville Road, Kent, NY
TM: 12.-1-88 | Site Plan Re-Approval | Review |
| - Morini Property
China Circle Court, Kent, NY
TM: 42.8-1-2 | Erosion Control Permit
Request for Extension | Review |
| - China Barrett Association
Barrett Hill Road & China Circle Ct., Kent, NY
TM: 42.11-1-8 | Erosion Control/Stormwater Bond
Request to Release Bond | Review |
| - Excel Printing
Route 52, Kent, NY
TM: 33.18-1-15 | Erosion Control Bond
Request to Release Bond | Review |
| - Fichter Property
11 Beach Court, Kent, NY
TM: 21.13-1-25 | Erosion Control Bond
Request to Release Bond | Review |
| Permit Applications Review (Applicants attendance not required/Workshop Discussion): | | |
| - Lipkin Property
85 Birch Court, Kent, NY
TM: 32.-1-35 | Erosion Control Final Inspection | Status Report |
| - Hilltop Estates (Kent Development Corp)
Peckslip Road, Kent, NY
TM: 12.-1-38 & 42 | Subdivision/Erosion Control Bond/
Extension | Status Report
Bond/Pending |
| - Patterson Crossing
Route 311, Kent, NY
TM: 22.-2-48 | Site Plan | Status Report
Bond/pending/
Request for time extension |
| - Kent Materials (Mountain View)
Route 52, Kent, NY
TM: 12.-1-44 & 12.-1-48 | Amended Site Plan | Status Report
Bond/pending |
| - Staley Company
5 Bowen Court, Kent, NY
TM: 12.-1-69 | Erosion Control/Site Plan | Status Report
Bond/Pending |
| - Patrick O'Mara Property
Woodland Road/Nimham Circle
TM: 20.20-1-3 | Erosion Control/Site Plan | Review |
| - Lema/Rte 52 Corp
Route 52, Kent, NY
TM: 33.18-1-6, 7, 8, 9 | Site Plan /Wetland Permit | Status Report |
| - Gipsy Trail/Paddle & Tennis Court
Kent, NY
TM: 32.-1-25 | Amended Site Plan | Status Report |
| - Biben Property
146 South Knapp Court, Kent Lakes, NY
TM: 10.-1-1 | Erosion Control/Site Plan/
Wetland permit | Status Report |
| - Schulhof-Kravits
8 Cat Briar Road/Gipsy Trail, Kent, NY
TM: 21.19-1-10 | Erosion Control | Status Report |

Vera Patterson

From: Vera Patterson [planning@townofkentny.gov]
Sent: Friday, September 11, 2015 4:30 PM
To: 'Bruce Barber'; Bill Walters ; WRohde@rsaengrs.com; 'Neil Wilson'; Charles Sisto; Dennis Lowes; George Brunner; Glenna Wright; Janis Bolbrock; Michael McDermott; Phillip Tolmach; Vera Patterson
Cc: Julie Mangarillo
Subject: Inspection report from Bill Rhode
Attachments: Inspection report_WRhode.pdf

Please find attached inspection reports from Bill Rhode for discussion at Thursday's meeting.

Vera Patterson
Planning Board Secretary
25 Sybil's Crossing
Kent, NY 10512
845-225-7802 (P)
845-306-5283 (F)
planning@townofkentny.gov

WRohde@rsaengrs.com

From: WRohde@rsaengrs.com
Sent: Friday, August 21, 2015 4:38 PM
To: 'Vera Patterson'; 'Bruce Barber'; 'Bill Walters'; 'Neil Wilson'; 'Charles Sisto'; 'Dennis Lowes'; 'George Brunner'; 'Glenna Wright'; 'Janis Bolbrock'; 'Michael McDermott'; 'Phillip Tolmach'
Subject: RE: Addition to review meeting

The following are my comments from today's Review Meeting

1. **TM 44-2-20 (228 Route 52)** Meeting with Mr. Richard Aponte: It was decided that a sketch plan would be required for a proposed equipment rental use. Wetland area noticed in the back of the property. Ground is fairly flat. Adjacent property may have a Spill number form NYSDEC. Zone is commercial.
2. **TM 12-1-88 (Hartshorn Professional Park)** Shed in rear had a tin roof (not depicted on approved plans) that slopes to rear in vicinity of septic tile field. Crushed stone to be placed along roof drip edge to form a level spreader that will control erosion. Erosion control measures appear to be satisfactory with good vegetative cover. Building and driveway areas have some gravel cover with some tractable dirt areas.
3. **TM 21.13-1-25 (Fichter driveway 10 Beach Ct)** Driveway culvert removed. Road ditch-line draining to existing cross road culvert was previously cut back as much as possible. Met with contractor. Agreed to try to keep drainage flow line at edge of town road. Try to make driveway apron cross-slope a bit toward mailbox (direct more toward downhill ditch line but not directed straight toward town road, so as to control ice formation (no birdbaths to be in this area). *Not all disturbed earth areas at 80% veg growth*
4. **TM 20.1-43.1 Seven Dills Earth Dam** Some areas near the spillway channel are not fully vegetated; therefore silt fences to remain in place in this area. Silt fence along the crest of the dam may be removed as vegetative cover looked to be good and in compliance.
5. **TM 33.18-1-15 Excel Printing** Built-up masonry along front and left side looked good. Grassed ground cover along areas between the print shop and top of wall are in full compliance and very established. Bond should be released.

Bill Rohde

Wilfred A. Rohde, PE
Rohde Soyka & Andrews
Consulting Engineers PC
40 Garden Street



Cornerstone Associates

Environmental Consultants

1770 Central Street

Yorktown Heights, NY 10598

Phone: (914)-299-5293

September 15, 2015

To: Planning Board

From: Bruce Barber
Town of Kent Environmental Consultant

Re: **Towners Road Mart (Scalfani Property)**
2 Towners Road
Section 33.64 Block 1 Lot 6

Please be advised that this office conducted a site inspection at the above referenced property on August 25, 2015. The inspection revealed that the proposed limits of disturbance is not within 100' of a Town of Kent jurisdictional wetland and therefore a wetland permit is not required for the proposed action.

Please do not hesitate to contact me should you have any questions.

Sincerely,

Bruce Barber, PWS, Certified Ecologist
Town of Kent Environmental Consultant

Vera Patterson

From: Vera Patterson [planning@townofkentny.gov]
Sent: Tuesday, September 01, 2015 9:22 AM
To: 'Bruce Barber'; Bill Walters ; WRohde@rsaengrs.com; 'Neil Wilson'; Charles Sisto; Dennis Lowes; George Brunner; Glenna Wright; Janis Bolbrock; Michael McDermott; Phillip Tolmach; Vera Patterson
Cc: Julie Mangarillo
Subject: FW: 2 Towners Road- Environmental Report
Attachments: 2 Towners Road report sp 02-09687 2015-08-13 MysticS-S QMR.pdf

Fyi.

From: Robert Cameron [<mailto:rcameron@putnameng.com>]
Sent: Monday, August 31, 2015 4:09 PM
To: Vera Patterson, Town of Kent Planning Board Secretary
Subject: 2 Towners Road- Environmental Report

Vera,
The Board consultants had requested this report. It was recently prepared and sent to me. Please distribute to the Board and consultants. Advise me how many hard copies you want.

Thanks

Robert Cameron, R.A.
Putnam Engineering PLLC
4 Old Route 6
Brewster, NY 10509
Phone (845) 279-6789x16
Fax (845) 279-6769
rcameron@putnameng.com

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August 13, 2015

Mr. Ed Moore
New York State Department of Environmental Conservation – Region 3
21 South Putt Corners Road
New Paltz, New York

Re: ***Quarterly Monitoring Report***
Mystic Gasoline Station
2 Towners Road
Carmel, New York 10512
NYSDEC PBS #3-488658
NYSDEC Spill #02-09687

Dear Mr. Moore:

Enclosed please find the *Quarterly Monitoring Report* documenting the environmental activities performed at the above referenced site by American Petroleum Equipment & Construction Company, Inc during the 3rd Quarter of 2015 on behalf of Mr. Wael Rozak.

If you have questions or require additional information, please feel free to contact our office.

Sincerely,

American Petroleum Equipment & Construction Company

A handwritten signature in black ink, appearing to read 'Kevin Bradley', with a long horizontal flourish extending to the right.

Kevin Bradley
Project Manager/Geologist

Cc: Wael Rozak, Owner



**Quarterly Monitoring Report
Mystic Gasoline Station
2 Towners Road
Carmel, New York 10512**

NYSDEC Spill #02-09687

Prepared for:

**Wael Rozak
401 North Little Tor Road
New City, New York 10956**

Prepared by:

**American Petroleum Equipment & Construction Company, Inc.
63 Orange Avenue
Walden, New York 12586**

August 2015



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4.0 GROUND WATER MONITORING WELL SAMPLING AND ANALYSIS	1
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FIGURE

Figure 1 Site Map

TABLES

Table 1 Historical C2G Table 1
Table 2 VOC Groundwater Analytical Results (August 2015)

APPENDICES

Appendix A Laboratory Analytical Report
Appendix B Non-Hazardous Waste Manifests



1.0 INTRODUCTION

American Petroleum Equipment and Construction Company, Inc. (American Petroleum) was contracted by Mr. Wael Rozak to prepare this report documenting and summarizing the environmental services provided during remedial activities at the Mystic Gasoline Station (the "Site") located at 2 Towners Road in Carmel (Putnam County), New York. The activities at the Site were performed in accordance with applicable local, state and federal regulations. A Site Location Map is included as **Figure 1**.

2.0 SCOPE OF WORK

American Petroleum was contracted to conduct environmental activities which included the following:

- Gauging of monitoring wells MW-1, MW-2, MW-3, MW-4, Site Well 1, and Site Well 2 to determine the absence or presence of free product;
- Conduct an Enhanced Fluid Recovery (EFR) events;
- Collection of groundwater samples from the on-Site wells for laboratory analysis of New York State Department of Environmental Conservation (NYSDEC) Spill Technology and Remediation Series (STARS) Memo #1 list of volatile organic compounds (VOCs) including methyl tertiary-butyl ether (MTBE) via Environmental Protection Agency (EPA) method 8260; and,
- Preparation of a Summary Report.

3.0 GROUNDWATER VACCUM EXTRACTION SUMMARY

The EFR vacuum events were conducted to provide remediation of the dissolved phase plume down-gradient of the underground storage tank (UST). Vacuum extraction of the on-Site monitoring wells utilizing a vacuum truck was conducted on July 21, 2015. A total of approximately 560 gallons of groundwater were removed during EFR events, respectively, and transported to Paradise Energy in Ossining, New York for disposal. Waste disposal manifest are included in **Appendix B**.

4.0 GROUNDWATER SAMPLING AND ANALYTICAL RESULTS

Following the EFR vacuum event, MW-1, MW-2, MW-3, MW-4, Site Well-1, and Site Well-2 were gauged and/or sampled on August XX, 2015. Groundwater was not present in monitoring wells Site Well-1 and Site Well-2. Additionally, monitoring well MW-1 could not be located



and is assumed buried or destroyed. Representative samples were collected from each of the remaining wells using clean dedicated, disposable bailers. The samples collected were placed in a cooler and transported under chain of custody to Phoenix Environmental Laboratories, Inc. located in Manchester, Connecticut a New York State Department of Health (NYSDOH) certified lab. The groundwater samples were analyzed for VOCs via EPA Method 8260 STARS including MTBE.

4.1.1 Groundwater Sampling and Analytical Results

Laboratory analytical results indicated detections of VOCs above Groundwater Quality Standards (GWQS) in the groundwater samples collected from monitoring well MW-2. Laboratory analytical results indicated VOCs below laboratory detection limits and below GWQS in the groundwater samples collected from monitoring wells MW-3 and MW-4. Historical groundwater sampling results are summarized in **Table 1** and a summary of the 2015 groundwater analytical results is included as **Table 2**. A copy of the laboratory analytical report provided by Phoenix is included in **Appendix A**.

5.0 CONCLUSIONS

The laboratory analysis of the groundwater samples obtained from monitoring well MW-2 indicated concentrations of VOCs which exceed the GWQS. The laboratory analysis of the groundwater samples obtained from monitoring wells MW-3 and MW-4 indicated concentrations were below GWQS.

Based on the laboratory analytical results from groundwater samples American Petroleum recommends continued EFR events on monitoring well MW-2 in the 4th quarter and continued quarterly groundwater sampling. Upon approval of the NYSDEC, American Petroleum will schedule and coordinate the 4th quarter remedial activities.

Prepared by:

A handwritten signature in black ink, appearing to read 'Kevin Bradley', is written over a horizontal line.

Kevin Bradley
Project Manager/Geologist



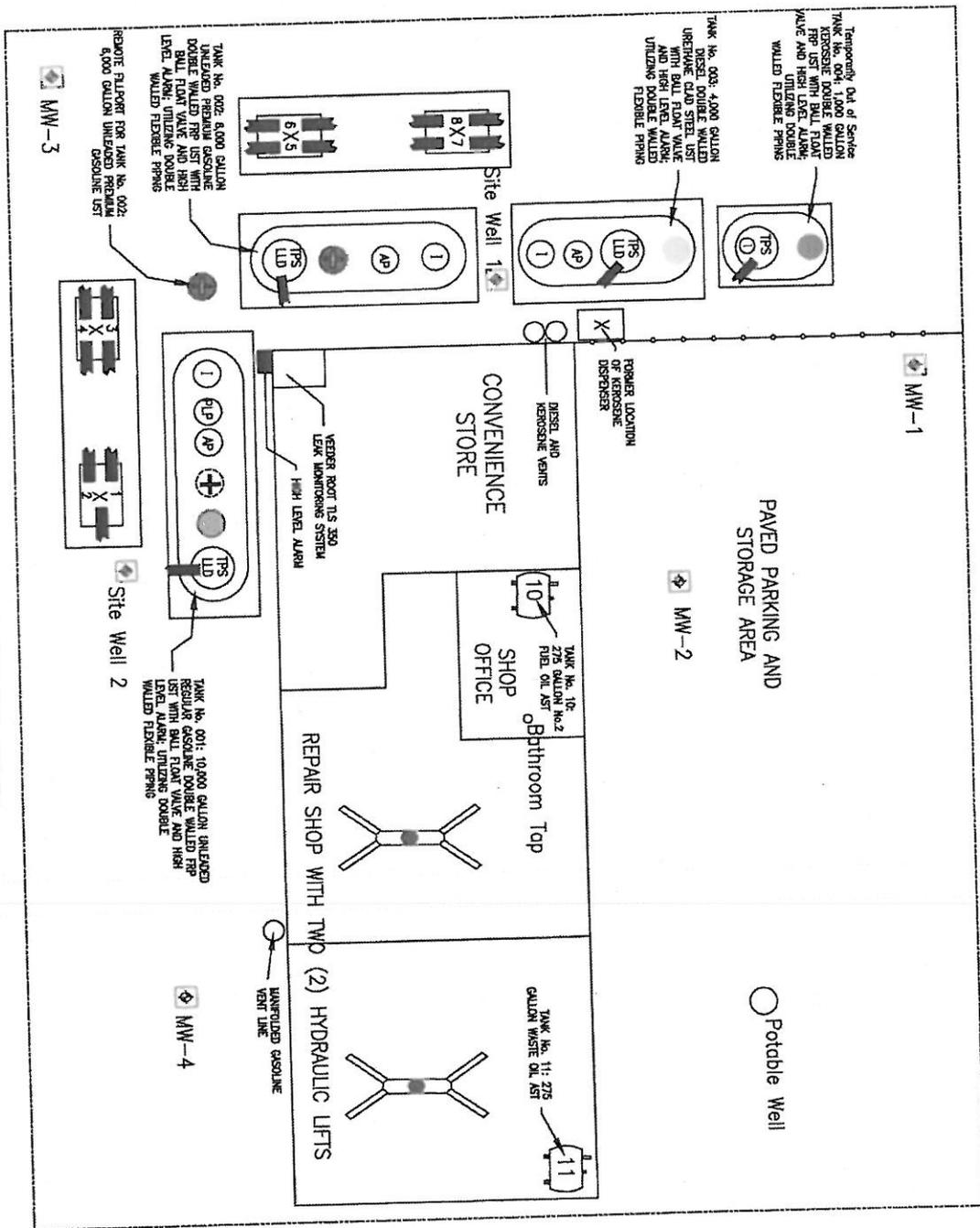
FIGURE
Site Map

ADJACENT PROPERTY: COMMERCIAL

ADJACENT PROPERTY: COMMERCIAL

TOWNERS ROAD

ROUTE 52



ADJACENT PROPERTY: RESIDENTIAL

LEGEND

- COMPASS POINTS NORTH
- PRODUCT DISPENSER PUMP WITH ID No.; NOTE APPROXIMATE LOCATION OF DOUBLED WALLED FLEXIBLE PIPING ENTERING / EXITING DISPENSER PANS
- TANK No. 001: 10,000 GALLON UNLEADED REGULAR GASOLINE DOUBLE WALLED FFP UST WITH DOUBLE WALLED FLEXIBLE PIPING
- TANK No. 002: 8,000 GALLON UNLEADED DIESEL DOUBLE WALLED FFP UST WITH DOUBLE WALLED FLEXIBLE PIPING
- TANK No. 003: 4,000 GALLON DIESEL DOUBLE WALLED URGENTLY CLAD STEEL UST WITH DOUBLE WALLED FLEXIBLE PIPING
- TANK No. 004: 1,000 GALLON KEROSENE DOUBLE WALLED FFP UST WITH DOUBLE WALLED FLEXIBLE PIPING
- LOCATION OF DUAL POINT VAPOR RECOVERY
- TANK PUMP SUMP; NOTE APPROXIMATE LOCATION OF DOUBLED FLEXIBLE PIPING EXITING THE SUMP
- LINE LEAK DETECTOR
- INTERSTITIAL SENSOR
- TANK ACCESS PORT
- PRODUCT LEVEL PROBE
- LOCATION OF ABOVEGROUND STORAGE TANKS
- MONITORING WELL
- ESTIMATED PROPERTY LINE

BASED ON INFORMATION PROVIDED FOR THIS LOCATION, THIS TANK / PUMPING SYSTEM HAS BEEN INSTALLED IN COMPLIANCE WITH NEW YORK STATE STANDARDS FOR NEW AND SUBSTANTIALLY MODIFIED PETROLEUM STORAGE FACILITIES, 6 NYCRR PART 614. NOTE THAT THE EXACT LOCATION OF PIPING IS NOT KNOWN AT THE TIME OF DRAFTING THIS DIAGRAM.

MANUFACTURER: TANK INSTALLED: 10-01-2004/AMERICAN PETROLEUM SERVICES

SCIAFANI FAMILY PARTNERSHIP
2 TOWNERS ROAD
CARMEL, NY 10512
PBS No. 3-488658

Monitoring Well Sampling

DATE: 12/23/10	PROJECT No. 12335
DATE: 9/17/12	PROJECT No. N/A
DATE: 9/18/12	PROJECT No. 2
DATE: 9/18/12	PROJECT No. 2



TABLES

Historical C2G Table
Groundwater Monitoring Data – VOCs

Site Loc:
Mystic Gas Station
2 Towners Road
Carmel, NY

C2G Environmental Consultants, LLC
83 South Putt Corners Road
New Paltz, NY-12561

Customer:
Mr. Jerry Sciafani
P.O. Box 700
Carmel, NY

Table 2: Historical Data Summary
Laboratory Analytical Results of Groundwater in Monitoring Wells

Monitoring Well	Constituents	Sample Date APECCO 9/21/2006 µg/L	Sample Date CSC 10/4/2007 µg/L	Sample Date C2G 8/17/12 µg/L	Sample Date C2G 11/14/12 µg/L	Sample Date C2G 2/28/13 µg/L	Sample Date C2G 5/29/13 µg/L	Sample Date C2G 2/26/14 µg/L
MW-1	BTEX	904	713	127	220	511	320	142
	MTBE	100	82	7	6.7	6.8	4.4	3.7
MW-2	BTEX	10,012	8,055	4,705	3,662	16,433	7,371	8,806
	MTBE	30,000	3,200	84	41	42	19	20
MW-3	BTEX	42	ND	ND	1.6	ND	ND	NS
	MTBE	ND	ND	ND	ND	ND	ND	NS
MW-4	BTEX	ND	4.1	ND	ND	ND	ND	NS
	MTBE	16	7.4	2.1	1.3	ND	ND	NS
SW-1	BTEX	NS	NS	NS	NS	NS	486	NS
	MTBE	NS	NS	NS	NS	NS	1.9	NS
SW-2	BTEX	NS	NS	NS	408	ND	ND	NS
	MTBE	NS	NS	NS	ND	ND	ND	NS

C2G Environmental Consultants, LLC
83 South Putt Corners Road
New Paltz, NY-12561

Site Loc:
Mystic Gas Station
2 Towners Road
Carmel, NY

Customer:
Mr. Jerry Sciafani
P.O. Box 700
Carmel, NY

Table 1: Sampling Data Summary

Laboratory Analytical Results of Groundwater in Monitoring Wells and Potable Well

<u>Analyzed Compounds</u> 8260 (w/MTBE) STARS List	<u>Guidance Value</u> CP-51 Groundwater Guidance µg/L	<u>Sample Location</u> Groundwater from MW1 2/20/14 µg/L	<u>Sample Location</u> Groundwater from MW2 2/20/14 µg/L	<u>Sample Location</u> Groundwater from MW3 5/29/13 µg/L	<u>Sample Location</u> Groundwater from MW4 5/29/13 µg/L	<u>Sample Location</u> Groundwater from SW1 5/29/13 µg/L	<u>Sample Location</u> Groundwater from SW2 5/29/13 µg/L	<u>Sample Location</u> BathroomTap 5/29/13 µg/L
Benzene	0.7	88	710	NS	NS	NS	NS	NS
Ethylbenzene	5	29	1300	NS	NS	NS	NS	NS
Toluene	5	ND	850	NS	NS	NS	NS	NS
Total Xylenes (O,M&P)	5	11	4020	NS	NS	NS	NS	NS
Isopropylbenzene	5	5.3	56	NS	NS	NS	NS	NS
n-Propylbenzene	5	5.6	130	NS	NS	NS	NS	NS
p-Isopropyltoluene	5	ND	ND	NS	NS	NS	NS	NS
1,3,5-Trimethylbenzene	5	ND	170	NS	NS	NS	NS	NS
1,2,4-Trimethylbenzene	5	ND	1300	NS	NS	NS	NS	NS
N-Butylbenzene	5	ND	11	NS	NS	NS	NS	NS
SEC - Butylbenzene	5	3	8.9	NS	NS	NS	NS	NS
TERT - Butylbenzene	5	ND	ND	NS	NS	NS	NS	NS
Naphthalene	10	ND	250	NS	NS	NS	NS	NS
MTBE	10	3.7	20	NS	NS	NS	NS	NS

Notes:

1. All data/sample results are recorded in micrograms-per-liter (µg/l)/parts per billion (ppb).
2. Samples tested by EPA Method 8260 w/MTBE (STARS List) per NYSDEC TOGS Guidance
3. ND = Not Detected (Compound analyzed but not detected) Detection limits may vary
4. The guidance values used were adopted by the NYSDEC Policy TOGS Soil Clean up Guidance.
5. Analytical results above NYSDEC TOGS Guidance Values are in red bold type.
6. NS = Not Sampled. See report for more information.

Table 2

GROUNDWATER MONITORING DATA

Mystic Gasoline Station
2 Towners Road
Carmel, New York

Monitoring Well	Date	Depth to Water (feet)	1,2,4-Trimethyl benzene (µg/L)	1,3,5-Trimethyl benzene (µg/L)	Benzene (µg/L)	Ethylbenzene (µg/L)	Isopropyl benzene (µg/L)	m,p-Xylene (µg/L)	MTBE (µg/L)	Naphthalene (µg/L)	n-Butylbenzene (µg/L)	n-Propylbenzene (µg/L)	o-Xylene (µg/L)	p-Isopropyl toluene (µg/L)	sec-Butylbenzene (µg/L)	tert-Butylbenzene (µg/L)	Toluene (µg/L)	Total Xylenes (µg/L)
NYSDEC TOGS 1.1.1 GWQS			5	5	1	5	5	NP	10	10	5	5	NP	5	5	5	5	5
MW-1	5/1/2015	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
MW-2	8/1/2015	5.22	730	48	350	820	43	2,100	8.1	310	7.1	77	520	3.1	6.8	ND	240	2,620
MW-3	8/1/2015	11.85	ND	ND	ND	ND	ND	ND	ND	ND	ND	ND	ND	ND	ND	ND	ND	ND
MW-4	5/7/2015	14.19	ND	ND	ND	ND	ND	ND	ND	ND	ND	ND	ND	ND	ND	ND	ND	ND
Site Well-1	8/1/2015	Dry	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA
Site Well-2	8/1/2015	Dry	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA

Notes:
BTEX
NA
TOGS
ND
ft

= Benzene, toluene, ethylbenzene, xylenes
= Not Available or Not Analyzed for that specific compound
= Technical and Operational Guidance Series 1.1.1
= Not Detected
= feet

BOLD = Results Exceed Criteria
GWQS = Groundwater Quality Standards
MTBE = Methyl Tertiary Butyl Ether
µg/L = Micrograms/Liter
NP = Not Published





Appendix A
Laboratory Analytical Report



Environmental Laboratories, Inc.
 587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045
 Tel. (860) 645-1102 Fax (860) 645-0823



Analysis Report

August 13, 2015

FOR: Attn: Mr. Kevin Bradley
 American Petroleum
 63 Orange Ave
 Walden, NY 12586

Sample Information

Matrix: GROUND WATER
 Location Code: AMERPET
 Rush Request: 24 Hour
 P.O.#: AP1310 15328E

Custody Information

Collected by: KB
 Received by: LB
 Analyzed by: see "By" below

Date Time

08/07/15 8:30
 08/12/15 16:48

Laboratory Data

SDG ID: GBJ73666
 Phoenix ID: BJ73666

Project ID: MYSTIC S/S
 Client ID: MW-2

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Volatiles- Stars/CP-51							
1,2,4-Trimethylbenzene	730	10	ug/L	10	08/12/15	RM	SW8260C
1,3,5-Trimethylbenzene	48	1.0	ug/L	1	08/12/15	RM	SW8260C
Benzene	350	7.0	ug/L	10	08/12/15	RM	SW8260C
Ethylbenzene	820	10	ug/L	10	08/12/15	RM	SW8260C
Isopropylbenzene	43	1.0	ug/L	1	08/12/15	RM	SW8260C
m&p-Xylene	2100	20	ug/L	10	08/12/15	RM	SW8260C
Methyl t-butyl ether (MTBE)	8.1	1.0	ug/L	1	08/12/15	RM	SW8260C
Naphthalene	310	10	ug/L	10	08/12/15	RM	SW8260C
n-Butylbenzene	7.1	1.0	ug/L	1	08/12/15	RM	SW8260C
n-Propylbenzene	77	1.0	ug/L	1	08/12/15	RM	SW8260C
o-Xylene	520	20	ug/L	10	08/12/15	RM	SW8260C
p-Isopropyltoluene	3.1	1.0	ug/L	1	08/12/15	RM	SW8260C
sec-Butylbenzene	6.8	1.0	ug/L	1	08/12/15	RM	SW8260C
tert-Butylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
Toluene	240	10	ug/L	10	08/12/15	RM	SW8260C
Total Xylenes	2620	20	ug/L	10	08/12/15	RM	SW8260C
QA/QC Surrogates							
% 1,2-dichlorobenzene-d4	101		%	1	08/12/15	RM	70 - 130 %
% Bromofluorobenzene	98		%	1	08/12/15	RM	70 - 130 %
% Dibromofluoromethane	88		%	1	08/12/15	RM	70 - 130 %
% Toluene-d8	97		%	1	08/12/15	RM	70 - 130 %

Project ID: MYSTIC S/S
Client ID: MW-2

Phoenix I.D.: BJ73666

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
-----------	--------	------------	-------	----------	-----------	----	-----------

RL/PQL=Reporting/Practical Quantitation Level (Equivalent to NELAC LOQ, Limit of Quantitation) ND=Not Detected
BRL=Below Reporting Level

Comments:

If there are any questions regarding this data, please call Phoenix Client Services at extension 200.
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Phyllis Shiller, Laboratory Director
August 13, 2015



Environmental Laboratories, Inc.
 587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045
 Tel. (860) 645-1102 Fax (860) 645-0823



Analysis Report
 August 13, 2015

FOR: Attn: Mr. Kevin Bradley
 American Petroleum
 63 Orange Ave
 Walden, NY 12586

Sample Information

Matrix: GROUND WATER
 Location Code: AMERPET
 Rush Request: 24 Hour
 P.O.#: AP1310 15328E

Custody Information

Collected by: KB
 Received by: LB
 Analyzed by: see "By" below

Date Time
 08/07/15 9:05
 08/12/15 16:48

Laboratory Data

SDG ID: GBJ73666
 Phoenix ID: BJ73667

Project ID: MYSTIC S/S
 Client ID: MW-3

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
<u>Volatiles- Stars/CP-51</u>							
1,2,4-Trimethylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
1,3,5-Trimethylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
Benzene	ND	0.70	ug/L	1	08/12/15	RM	SW8260C
Ethylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
Isopropylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
m&p-Xylene	ND	2.0	ug/L	1	08/12/15	RM	SW8260C
Methyl t-butyl ether (MTBE)	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
Naphthalene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
n-Butylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
n-Propylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
o-Xylene	ND	2.0	ug/L	1	08/12/15	RM	SW8260C
p-Isopropyltoluene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
sec-Butylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
tert-Butylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
Toluene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
Total Xylenes	ND	2.0	ug/L	1	08/12/15	RM	SW8260C
<u>QA/QC Surrogates</u>							
% 1,2-dichlorobenzene-d4	101		%	1	08/12/15	RM	70 - 130 %
% Bromofluorobenzene	92		%	1	08/12/15	RM	70 - 130 %
% Dibromofluoromethane	89		%	1	08/12/15	RM	70 - 130 %
% Toluene-d8	98		%	1	08/12/15	RM	70 - 130 %

Project ID: MYSTIC S/S
Client ID: MW-3

Phoenix I.D.: BJ73667

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
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RL/PQL=Reporting/Practical Quantitation Level (Equivalent to NELAC LOQ, Limit of Quantitation) ND=Not Detected
BRL=Below Reporting Level

Comments:

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Phyllis Shiller, Laboratory Director
August 13, 2015



Environmental Laboratories, Inc.
 587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045
 Tel. (860) 645-1102 Fax (860) 645-0823



Analysis Report
 August 13, 2015

FOR: Attn: Mr. Kevin Bradley
 American Petroleum
 63 Orange Ave
 Walden, NY 12586

Sample Information

Matrix: GROUND WATER
 Location Code: AMERPET
 Rush Request: 24 Hour
 P.O.#: AP1310 15328E

Custody Information

Collected by: KB
 Received by: LB
 Analyzed by: see "By" below

Date Time
 08/07/15 9:25
 08/12/15 16:48

Laboratory Data

SDG ID: GBJ73666
 Phoenix ID: BJ73668

Project ID: MYSTIC S/S
 Client ID: MW-4

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
<u>Volatiles- Stars/CP-51</u>							
1,2,4-Trimethylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
1,3,5-Trimethylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
Benzene	ND	0.70	ug/L	1	08/12/15	RM	SW8260C
Ethylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
Isopropylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
m&p-Xylene	ND	2.0	ug/L	1	08/12/15	RM	SW8260C
Methyl t-butyl ether (MTBE)	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
Naphthalene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
n-Butylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
n-Propylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
o-Xylene	ND	2.0	ug/L	1	08/12/15	RM	SW8260C
p-Isopropyltoluene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
sec-Butylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
tert-Butylbenzene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
Toluene	ND	1.0	ug/L	1	08/12/15	RM	SW8260C
Total Xylenes	ND	2.0	ug/L	1	08/12/15	RM	SW8260C
<u>QA/QC Surrogates</u>							
% 1,2-dichlorobenzene-d4	100		%	1	08/12/15	RM	70 - 130 %
% Bromofluorobenzene	91		%	1	08/12/15	RM	70 - 130 %
% Dibromofluoromethane	89		%	1	08/12/15	RM	70 - 130 %
% Toluene-d8	97		%	1	08/12/15	RM	70 - 130 %

Project ID: MYSTIC S/S
Client ID: MW-4

Phoenix I.D.: BJ73668

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
-----------	--------	------------	-------	----------	-----------	----	-----------

RL/PQL=Reporting/Practical Quantitation Level (Equivalent to NELAC LOQ, Limit of Quantitation) ND=Not Detected
BRL=Below Reporting Level

Comments:

If there are any questions regarding this data, please call Phoenix Client Services at extension 200.
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Phyllis Shiller, Laboratory Director
August 13, 2015

Thursday, August 13, 2015

Criteria: NY: GW

State: NY

Sample Criteria Exceedences Report GBJ73666 - AMERPET

Page 1 of 1

SampNo	Acode	Phoenix Analyte	Criteria	Result	RL	Criteria	RL Criteria	Analysis Units
BJ73666	\$8021SWR	Total Xylenes	NY / TAGM - Volatile Organics / Groundwater Standards	2620	20	5	5	ug/L
BJ73666	\$8021SWR	Total Xylenes	NY / TOGS - Water Quality / GA Criteria	2620	20	5	5	ug/L
BJ73666	\$8021SWR	o-Xylene	NY / TAGM - Volatile Organics / Groundwater Standards	520	20	5	5	ug/L
BJ73666	\$8021SWR	Naphthalene	NY / TAGM - Volatile Organics / Groundwater Standards	310	10	5	5	ug/L
BJ73666	\$8021SWR	Ethylbenzene	NY / TAGM - Volatile Organics / Groundwater Standards	820	10	5	5	ug/L
BJ73666	\$8021SWR	Toluene	NY / TAGM - Volatile Organics / Groundwater Standards	240	10	5	5	ug/L
BJ73666	\$8021SWR	Benzene	NY / TAGM - Volatile Organics / Groundwater Standards	350	7.0	0.7	0.7	ug/L
BJ73666	\$8021SWR	o-Xylene	NY / TOGS - Water Quality / GA Criteria	520	20	5	5	ug/L
BJ73666	\$8021SWR	sec-Butylbenzene	NY / TOGS - Water Quality / GA Criteria	6.8	1.0	5	5	ug/L
BJ73666	\$8021SWR	Toluene	NY / TOGS - Water Quality / GA Criteria	240	10	5	5	ug/L
BJ73666	\$8021SWR	n-Propylbenzene	NY / TOGS - Water Quality / GA Criteria	77	1.0	5	5	ug/L
BJ73666	\$8021SWR	1,3,5-Trimethylbenzene	NY / TOGS - Water Quality / GA Criteria	48	1.0	5	5	ug/L
BJ73666	\$8021SWR	n-Butylbenzene	NY / TOGS - Water Quality / GA Criteria	7.1	1.0	5	5	ug/L
BJ73666	\$8021SWR	Benzene	NY / TOGS - Water Quality / GA Criteria	350	7.0	1	1	ug/L
BJ73666	\$8021SWR	Ethylbenzene	NY / TOGS - Water Quality / GA Criteria	820	10	5	5	ug/L
BJ73666	\$8021SWR	Isopropylbenzene	NY / TOGS - Water Quality / GA Criteria	43	1.0	5	5	ug/L
BJ73666	\$8021SWR	Naphthalene	NY / TOGS - Water Quality / GA Criteria	310	10	10	10	ug/L
BJ73666	\$8021SWR	1,2,4-Trimethylbenzene	NY / TOGS - Water Quality / GA Criteria	730	10	5	5	ug/L

Phoenix Laboratories does not assume responsibility for the data contained in this report. It is provided as an additional tool to identify requested criteria exceedences. All efforts are made to ensure the accuracy of the data (obtained from appropriate agencies). A lack of exceedence information does not necessarily suggest conformance to the criteria. It is ultimately the site professional's responsibility to determine appropriate compliance.



Appendix B
Non-Hazardous Waste Manifests

**HAZARDOUS
WASTE MANIFEST**

1. Generator ID Number: _____ 2. Page 1 of _____ 3. Emergency Response Phone: _____ 4. Waste Tracking Number: _____

Generator's Name and Mailing Address: _____ Generator's Site Address (if different than mailing address): _____

Generator's Phone: _____

6. Transporter 1 Company Name: _____ U.S. EPA ID Number: _____

7. Transporter 2 Company Name: _____ U.S. EPA ID Number: _____

8. Designated Facility Name and Site Address: _____ U.S. EPA ID Number: _____

Facility's Phone: _____

9. Waste Shipping Name and Description	10. Containers		11. Total Quantity	12. Unit Wt./Vol.
	No.	Type		
1. _____	1	TI	560	6
2. _____				
3. _____				
4. _____				

13. Special Handling Instructions and Additional Information: _____

14. GENERATOR'S/OFFEROR'S CERTIFICATION: I hereby declare that the contents of this consignment are fully and accurately described above by the proper shipping name, and are classified, packaged, marked and labeled/placarded, and are in all respects in proper condition for transport according to applicable international and national governmental regulations.

Generator's/Offeror's Printed/Typed Name: _____ Signature: _____ Month: _____ Day: _____ Year: _____

15. International Shipments: Import to U.S. Export from U.S. Port of entry/exit: _____ Date leaving U.S.: _____

16. Transporter Acknowledgment of Receipt of Materials

Transporter 1 Printed/Typed Name: _____ Signature: _____ Month: _____ Day: _____ Year: _____

Transporter 2 Printed/Typed Name: _____ Signature: _____ Month: _____ Day: _____ Year: _____

17. Discrepancy

17a. Discrepancy Indication Space: Quantity Type Residue Partial Rejection Full Rejection

Manifest Reference Number: _____ U.S. EPA ID Number: _____

17b. Alternate Facility (or Generator): _____ U.S. EPA ID Number: _____

Facility's Phone: _____

17c. Signature of Alternate Facility (or Generator): _____ Month: _____ Day: _____ Year: _____

18. Designated Facility Owner or Operator: Certification of receipt of materials covered by the manifest except as noted in item 17a.

Printed/Typed Name: _____ Signature: _____ Month: _____ Day: _____ Year: _____

GENERATOR

TRANSPORTER INT'L

DESIGNATED FACILITY



August 13, 2015

Town of Kent Planning Board
Kent Town Centre
25 Sybil's Crossing
Kent Lakes, New York 10512

RE: China Barrett HOA / Sedgewood Club Associates
Barrett Hill Road and China Circle Court
Tax Map No. 42.11-1-8

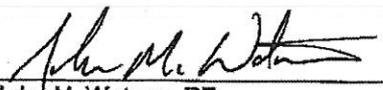
Dear Chairman McDermott and Members of the Board:

The above referenced project has been completed and in general working condition since September 2014. At the November 13, 2014 Planning Board meeting, it was determined that the Erosion Control Bond and half of the Stormwater Bond be released. The remaining half could be requested to be released after August 2015; therefore we respectfully requested that the remaining Stormwater Bond be released at this time.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By: 
John M. Watson, PE
Principal Engineer

JMW/wlk

Enclosures

cc: Dennis Smith, ESQ.
E. McLean
D. Affrick

Insite File No. 06162.100



Cornerstone Associates

Environmental Consultants
1770 Central Street
Yorktown Heights, NY 10598
Phone: (914)-299-5293

September 15, 2015

To: Planning Board

From: Bruce Barber
Town of Kent Environmental Consultant

Re: **Kent Countryside Nursery**
480 Route 52
Section 33.56 Block 1 Lot 14

Please be advised that based upon a review of the sketch provided by the applicant, a Town of Kent wetland permit will be required for the proposed action. It is recommended that the applicant revise the sketch to indicate the wetland buffer line on the subject parcel.

The sketch indicates a landscape bed to be installed along Route 52 in the area of a drainage catch basin. It is recommended that the Planning Board engineer review the sketch to ensure that this drain will not be blocked and that there will not be any sediment leaving the site and deposited in the wetland across the street. T

Please do not hesitate to contact me should you have any questions.

Sincerely,

Bruce Barber, PWS, Certified Ecologist
Town of Kent Environmental Consultant

LRC PLANNING SERVICES, LLC

LAND USE/REAL ESTATE/ENVIRONMENTAL CONSULTING

**8 MOREHOUSE ROAD
POUGHKEEPSIE, NEW YORK 12603-4010
TELE: 845-452-3822
FAX: 845-452-3346**

MEMORANDUM

TO: Town of Kent Planning Board
From: Neil A. Wilson
Date: September 17, 2015
Re: Kent Countryside Nursery
Application for Site Plan Approval

With reference to the above matter, we have reviewed the application for Site Plan Approval submitted by the applicant dated August 20, 2015 and offer the following for the Board's consideration:

1. The application as presented is atypical with respect to the information requirements normally required by §77-60 of the Zoning Law (see attached). The question for the Planning Board is whether the Board is willing to essentially waive almost all of the information requirements for a Site Plan application, and to accept a hand-drawn, unscaled, unsigned drawing prepared by some unknown and perhaps unlicensed person?
2. The application describes the use (i.e. sale of nursery stock and Christmas trees) as "seasonal" and the improvements (i.e. the office and port-a-potty) as temporary structures. However, nowhere does the application describe the seasonality of the use and the hours of operation. Is this truly a seasonal use that would be open only during specified weeks or months of the year? Or is this a use that is essentially permanent but changes its stock-in-trade as the seasons change? This should be discussed with the Board.
3. Items that will need to be provided and shown on the site plan:
 - a. Location and type of water supply for irrigation purposes.
 - b. Location and type of water supply for drinking purposes.
 - c. Location of electrical connections.
 - d. Location, type, style, and lumens of any on-site lighting. This would include compliance with the lighting standards at the property line as set forth in §77-44.3.
 - e. Location and striping of handicap parking space(s).
4. The Board will also need to consider whether it will hold a public hearing on the application.
5. Preliminarily, this matter appears to be a Type II Action under the SEQRA for which no environmental review is required.

6. The application will need to be submitted to the Putnam County Department of Planning for review pursuant to GML 239-m.
7. We have no further comment on the proposed site plan and defer to Bill Rohde with respect to any remaining site engineering, sewer, water supply, and storm water management impact issues, and to Bruce Barber with respect to any wetland issues.

Town of Kent, NY
Thursday, September 17, 2015

Chapter 77. Zoning

Article XVII. Special Use and Site Plan Requirements

§ 77-60. Approval of site plans.

- A. Purpose. The Town of Kent values the rural mixed-use character of the Town and wishes to encourage residential and nonresidential growth involving supporting adaptive reuse of existing structures and development of new structures, designs, and land uses that preserve the historic, scenic, and environmental character of the Town of Kent. To that end, the following regulations are intended to direct the development of land to accomplish this purpose.
- B. Consistency requirement. Before approving any use that is subject to special use permit or site plan review, the Planning Board must make a written finding that the proposed use, site layout, site design and architectural appearance will enhance and be protective of the aesthetic, historic and environmental features of the Town. In preparing a plan for development of land, the applicant shall give attention to the goals, objectives and the stated land use policies for the Town in the specific area in which the development is proposed. The Planning Board shall determine whether the site use, site design and architecture proposed by an applicant comply with the land use and environmental protection policies and objectives of the Town of Kent Master Plan.
- C. Applicability. Site plan approval by the Planning Board, in accordance with this section, is required for the following uses and activities:
- (1) All uses and uses accessory thereto which require site plan approval as set forth in this chapter.
 - (2) All special use activities.
 - (3) Any change of use involving a conforming use to another conforming use.
 - (4) Any change of use involving a nonconforming use to another nonconforming use.
 - (5) A change to an approved site plan or an approved subdivision plat where site plan approval was required.
 - (6) Activities for which a use variance has been granted by the Zoning Board of Appeals.
 - (7) New construction, extension, alteration, addition or change of use of land or structure.
 - (8) Extension, alteration or additions to a nonconforming building.
- D. Exemptions. The following activities are exempt from site plan approval:
- (1) Construction, extension or alteration of a single-family dwelling and accessory structures thereto on a lot legally in existence as of the date of this chapter, or on a lot approved by the Planning Board for single-family residential use pursuant to Chapter A81.
 - (2) The seasonal planting, cultivation and harvesting of field crops, fruits, vegetables, and horticultural specialties, including nursery stock, ornamental shrubs, and ornamental trees and flowers, whether as part of an existing or a new or expanded agricultural operation, and not involving the construction or

alteration of any structure.

- (3) Construction or alteration of the interior of a building or structure;
 - (4) Routine property maintenance activities, including repainting, repair, and in-kind replacement.
- E. Where site plan approval is required by this chapter, no building permit or certificate of occupancy shall be issued by the Building Inspector until such plan has been approved by the Planning Board as provided herein. No premises shall be occupied or used and no certificate of occupancy shall be issued until all of the requirements of this chapter, and any condition of Planning Board approval, have been complied with.
- F. Applications.
[Amended 3-23-2009 by L.L. No. 2-2009]
- (i) An application for site plan approval shall be submitted to the Planning Board on forms provided by the Board for such purpose. The application shall be submitted to the Planning Board by 12:00 noon at least 21 days prior to the date set for the regular meeting of the Board, and shall be made prior to the application for a building permit. The application shall be complete and in a form acceptable to the Planning Board and shall be accompanied by a detailed site plan. The site plan shall use as a base map an accurate boundary and topographic survey of the property depicting all existing improvements and grades prepared by a New York State licensed land surveyor. The plan shall depict all proposed improvements and shall be prepared by a professional engineer, a landscape architect, or an architect licensed by the State of New York and shall include the following information:
 - (a) A location map, at a convenient scale, showing the applicant's entire property and all boundaries, easements and streets within 500 feet thereof.
 - (b) The location, size, use and architectural design of all existing buildings and structures.
 - (c) The location of all property lines and structures within 200 feet of the property boundary, with topography extended 50 feet outward from the site property boundary and 200 feet outward along existing roads.
 - (d) Any proposed division of buildings into units of separate occupancy.
 - (e) Existing topography and proposed grade elevations at a contour interval of not more than two feet, unless waived by the Planning Board, soil types, wetlands and watercourses, one-hundred-year floodplains, bedrock outcrops, slopes in excess of 10%, and the location of trees with a diameter of eight inches dbh and greater.
 - (f) The location and capacity or number of all existing and proposed roads, driveways, parking and loading areas, including access and egress drives.
 - (g) The location of outdoor storage areas.
 - (h) The location of fire access roads and fire protection features.
 - (i) The location, description and design of all existing and proposed site improvements, including pavement, walkways, curbing, drains, culverts, retaining walls, fences, parks, open spaces, and recreation areas.
 - (j) The location, design and description of water supply and sewage disposal facilities
 - (k) The location, design and description of stormwater management facilities, including proposed grading plan.
 - (l) The location, height, size and design of all signs.
 - (m) The location, height, and species of landscape plantings on a landscape plan.
 - (n) The location and design of lighting and communication facilities.

- (o) The location, type and design of all waste and refuse storage and handling facilities.
 - (p) The character and location of all power distribution and transmission lines.
 - (q) The location and description of all subsurface site improvements and facilities.
 - (r) The extent and amount of cut and fill for all disturbed areas, including before-and-after profiles of typical development areas, parking lots, driveways and roads.
 - (s) Adequate provisions for the handling of stormwater runoff, including retention/detention, piping or channeling to existing or proposed drainage systems during and after construction.
 - (t) Phasing of development, if any.
 - (u) A signature block for Planning Board endorsement of approval.
 - (v) The name and address of the owner of the property proposed for development, along with the signature of said owner.
 - (w) The name and address of the applicant, if different, along with the signature of said applicant.
 - (x) At the request of the Planning Board, any other pertinent information as may be deemed necessary to determine and provide for the proper enforcement of this chapter.
- (2) Stormwater management.
- (a) No application for site plan approval shall be deemed complete unless it is accompanied by a stormwater pollution prevention plan (SWPPP) consistent with the requirements of Town of Kent Town Code Chapter 66, Articles IV and V. The SWPPP shall meet the performance and design criteria and standards in Chapter 66, Article IV. The approved site plan shall be consistent with the provisions of Chapter 66.
 - (b) All site plans shall be compliant with the New York City Department of Environmental Protection regulations for stormwater discharges.
- G. Information waiver. The Planning Board may grant a waiver from the information requirements contained herein where it finds that such information is not relevant to, or is not otherwise required, to conduct the review of the application.
- H. Site plan design criteria. The criteria in Subsections J through U of this section, inclusive, are intended to provide a framework for development within which the site designer is free to exercise creativity, invention, and innovation while recognizing the historic scenic and visual qualities inherent to the Town of Kent. The Planning Board, in its sole discretion, shall determine the applicability of the criteria to each application for site plan and special use permit approval, and may waive or modify the application of the criteria to each application on a case-by-case basis. In addition, the Planning Board shall use its discretion to reconcile any conflicts between the site plan design criteria of this section and any specific district design standards. Unless waived or modified by the Planning Board, the following criteria shall be in addition to any other area and bulk requirement of this chapter.
- I. Relationship of structures and buildings to site.
- (1) In the site plan design, consideration shall be given to the use of traditional building forms and layouts which are evidence of the distinctive historic development of the area and, in particular, of any specially designated or recognized scenic and historic districts within the vicinity of the proposed development. The importance of local historic, architectural, environmental and other features of significance to the property and of nearby properties shall be recognized as an integral element in the review process.
 - (2) The site shall be planned to accomplish a desirable transition with the streetscape to provide for adequate planting, safe pedestrian movement, and safe ingress and egress, and parking for vehicles.

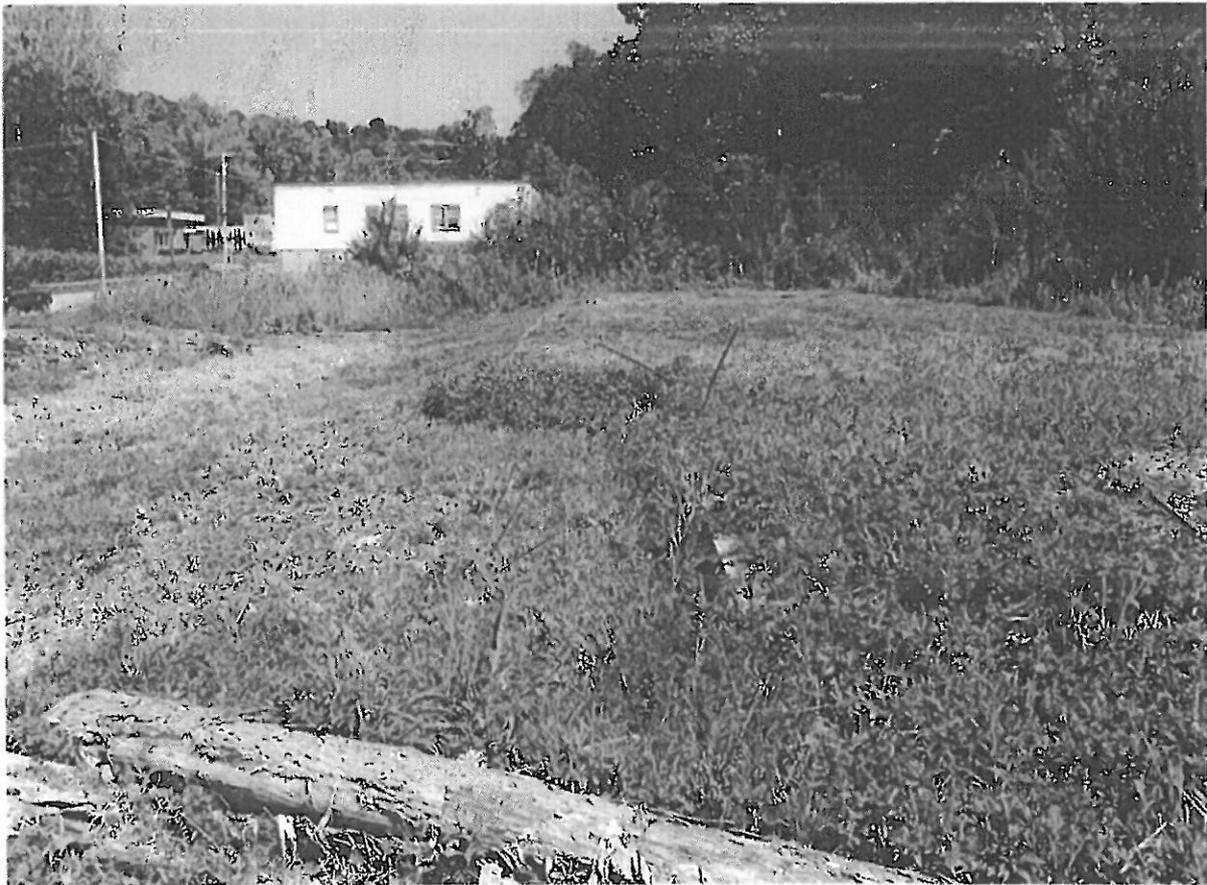
- (3) Site planning in which setbacks and yards are in excess of minimum area and bulk requirements is encouraged to provide a variation in relationship between buildings.
 - (4) Parking shall, wherever feasible, be located to the rear or sides of buildings so as not to interfere with the front landscape treatment.
 - (5) Without restricting the permissible limits of the applicable zoning district, the height and scale of each building shall be compatible with its site and the existing, or anticipated, adjoining buildings. The Planning Board shall determine the visual compatibility of a proposed use or site plan change, including concerns for the proportion of the front facade, proportion and arrangement of windows and other openings within the facade (i.e., fenestration), roof shape and the rhythm and spacing of structures along the street front or roadway, including consideration of setbacks and the treatment of yards.
 - (6) The Planning Board shall encourage the use of a combination of common materials, landscaping, buffers, screens and visual interruptions to create attractive transitions between buildings of different architectural styles.
 - (7) Newly installed and renovated utility services, and service revisions necessitated by exterior alterations, shall be underground unless otherwise allowed by the Planning Board.
- J. Relationship of nonresidential uses to residential uses and districts.
- (1) Site plans proposed for nonresidential uses adjacent to a residential district or a residential property shall be reviewed with regard to the impact of the development on that district. The Planning Board is hereby expressly authorized to require such additional front, side and rear yard setbacks as may be required to ensure that the nonresidential use does not interfere with the quiet enjoyment of neighboring residential lands.
 - (2) The Planning Board shall ensure that the design of each parking area provides adequate room for snow storage.
- K. Landscape, buffering and site treatment.
- (1) Where possible, natural or existing topographic features and patterns that contribute to the beauty and character of a site or neighborhood shall be preserved.
 - (2) Grades of walks, parking spaces, terraces, and other paved areas shall provide an inviting appearance and shall be of such width, as determined by the Planning Board, to easily accommodate pedestrian movement.
 - (3) Landscape treatment shall be provided to enhance architectural features, strengthen vistas and visual corridors and provide shade.
 - (4) Unity of design shall be achieved by repetition of certain plant varieties and other materials and by coordination with adjacent developments.
 - (5) Plant material shall be selected for interest in its structure, texture and color and in consideration of its ultimate growth pattern. Vegetation indigenous to the area and others that will be harmonious to the design and exhibit a good appearance shall be used.
 - (6) In locations where plants will be susceptible to injury by pedestrian or motor traffic, appropriate curbs, tree guards, or other devices shall be installed and maintained. The Planning Board may require the use of markers to delineate curbing and other sensitive features to alert snow plow operators of the existence of such features and curbing.
 - (7) Screening of service yards, commercial vehicles, commercial trailers, passenger vehicles, parking areas, refuse containers, and other places that tend to be unsightly, shall be accomplished by use of walls, fencing, planting, or combinations of these with all such enclosures being compatible in material, texture, and color with the principle building or buildings on the site.

- (8) Landscaping shall be designed and maintained so as not to create hazardous conditions.
- (9) Landscaping shall be maintained to preserve its original integrity and intended purpose during the life of the proposed use or project.
- L. (Reserved)^[1]
- [1] *Editor's Note: Former Subsection L, Stormwater management, was repealed 7-13-2009 by L.L. No. 4-2009.*
- M. Building design.
- (1) Proposed building design shall recognize compatible building forms indigenous to the community and the neighborhood in which the project is located. In particular, building design shall consider the historic character of the Town of Kent. Adaptive reuse of existing structures is strongly encouraged.
- (2) Materials proposed for new structures and the rehabilitation/redesign of existing structures shall have good architectural character and shall be selected for harmony with traditional building materials. Except when wholly impractical, natural materials shall be used.
- (3) Building components such as windows, rooflines, doors, eaves, and parapets shall have well-designed proportions and relationships to one another and be compatible with the historic character of the Town of Kent and the neighborhood setting of the proposed project.
- (4) Mechanical equipment such as air conditioners, satellite dishes, or other utility hardware located on roofs, the ground, or buildings shall be screened from public view with materials harmonious with the building, specified as to color so as to blend with their surroundings, or located so as not to be visible from any public way or lands.
- N. Parking and loading.
- (1) Parking shall not be located within a front, side or rear yard setback.
- (2) Parking areas, access aisles, and parking spaces facing or adjacent to property located in a residential district shall be set back an additional 15 feet from the minimum yard setback to provide a visual and noise buffer to such residentially zoned property. The fifteen-foot buffer shall be planted with a mixture of evergreen and deciduous plantings at a planted height so as to completely screen the parking area from neighboring properties and streets. In the case of practical difficulty, or where the Planning Board determines that the additional fifteen-foot buffer strip is unnecessary due to site conditions, the Board may reduce the depth of the buffer provided that the Board finds that such reduction will be at least as protective of property located in the residential district as the full-depth buffer. The species type, location and planted height of such landscaping shall be subject to the approval of the Planning Board.
- (3) Parking areas and traffic ways shall be enhanced with landscaped islands, containing trees and tree groupings. The interior (i.e., nonperimeter) areas of a proposed parking area shall be appropriately landscaped, and for parking lots containing 20 or more parking spaces, such landscaping shall comprise not less than 15% of the land area of the proposed parking facility.
- (4) The Planning Board may allow parking spaces within a yard setback line if it finds that such parking will not detract from the aesthetic character of the area and is otherwise consistent with the purposes of this section.
- (5) Notwithstanding the requirements for off-street loading spaces as specified in Article XI of this chapter, the Planning Board may require additional space(s) for delivery vehicle loading, may require larger dimensions for each loading space, may require additional setback from adjacent buildings and structures, and may require larger dimensions and means of access for vehicles to such loading spaces than may be stated elsewhere in this chapter.
- O. Material and equipment storage and waste containers.
- (1) Material and equipment other than as shown on an approved site plan shall be stored so as to not be

visible from adjoining or nearby properties and public roads. Storage of materials shall be within wholly enclosed structures approved for such use, or shall be screened from view by fencing or landscaping, or a combination of fencing and landscaping, as determined by the Planning Board. Accessory outdoor storage of materials shall be set back not less than 15 feet from any lot line, not more than 10 feet in height and suitably screened by a solid fence or other suitable means of at least six feet in height. Accessory outdoor storage shall be prohibited between the principal building and any street line.

- (2) Adequate facilities for disposal of refuse shall be provided. All refuse disposal units, or locations for deposit of refuse, shall be screened from view and designed so as to be fireproof and/or fire-retardant, and to prevent access by rodents, dogs and vermin such as cats. All such enclosures shall remain closed at all times, and shall be designed to prevent blowing of paper and refuse.
- P. Ecological considerations.
- (1) The proposal shall result in minimal degradation of unique or irreplaceable land types and in minimal adverse impact upon areas of environmental concern.
 - (2) The proposal shall conform with the existing geological and topographic features, to the end that the most appropriate use of land is encouraged.
- Q. Drainage. The proposed development shall be so designed as to provide for proper surface water management through a system of controlled drainage that preserves existing drainage patterns and protects other properties and the environment. All drainage plans shall be reviewed and approved by the Planning Board Engineer.
- R. Traffic.
- (1) All entrance and exit driveways shall be located with due consideration for traffic flow, so as to afford maximum safety to traffic on public streets and shall meet all current design standards of the appropriate state, county or Town authority unless specifically waived or modified by that authority.
 - (2) On-site circulation shall be designed for ease of use and to connect safely with adjoining properties where appropriate.
- S. Pedestrian circulation. Pedestrian circulation shall be separated from motor vehicle circulation. Appropriate walkways shall be provided on the site and its approaches as determined by the Planning Board.
- T. Architectural review. In addition to the requirements of this section and the Town subdivision regulations, during review of any site plan, the Planning Board may, at its discretion, consult with one or more persons or firms having experience in building architecture and design matters as to the appropriate design of building exterior facades, fenestrations, roof lines, lighting, massing, color and materials. In reviewing the architectural appearance of proposed buildings and landscaping, the Planning Board shall evaluate the compatibility of the proposed development with that found elsewhere in the vicinity of the project. The Board may, at its discretion, consult with one or more persons or firms having experience in landscape architecture and landscape planting as to the appropriate design of lawns and open spaces around proposed buildings and uses, and the appropriate species, size and number of plants to be installed. The architectural review authority of the Planning Board shall not be limited by the provisions of this section but shall extend to the full authority to conduct such reviews as may be conferred on the reviewing agency by the Town Law, the State Environmental Quality Review Act, and this chapter, as amended. The reasonable cost of any architectural review shall be borne by the applicant.

RSA Job # 14-261-218 Kent Countryside Nursery Site – TM 33.56-1-14



Sunny 85°F

LOOKING NORTH FROM DUNWOODIE ROAD ACROSS PARCEL FROM
NORTH EDGE OF PARKING LOT. NOTE CONCRETE FOUNDATION
WITH STEEL REBARS STICKING UP.

September 18, 2015

1/5

RSA Job # 14-261-218 Kent Countryside Nursery Site – TM 33.56-1-14



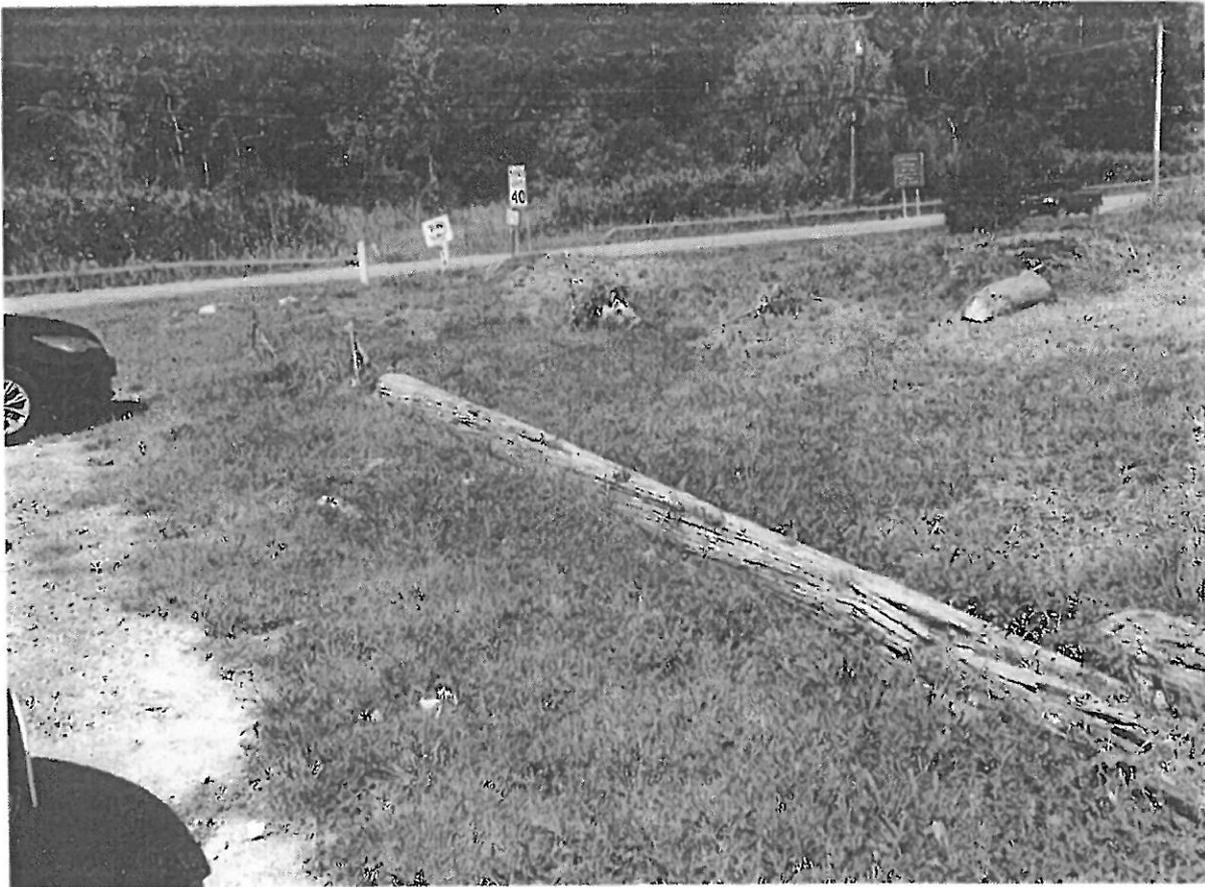
Sunny 85°F

**CLOSE UP OF BUILDING PAD LOOKING NE FROM SOUTH PARKING
LOT. STEEL REBAR WITH YELLOW FLAG UP FROM CONCRETE
FOUNDATION.**

September 18, 2015

2/5

RSA Job # 14-261-218 Kent Countryside Nursery Site – TM 33.56-1-14



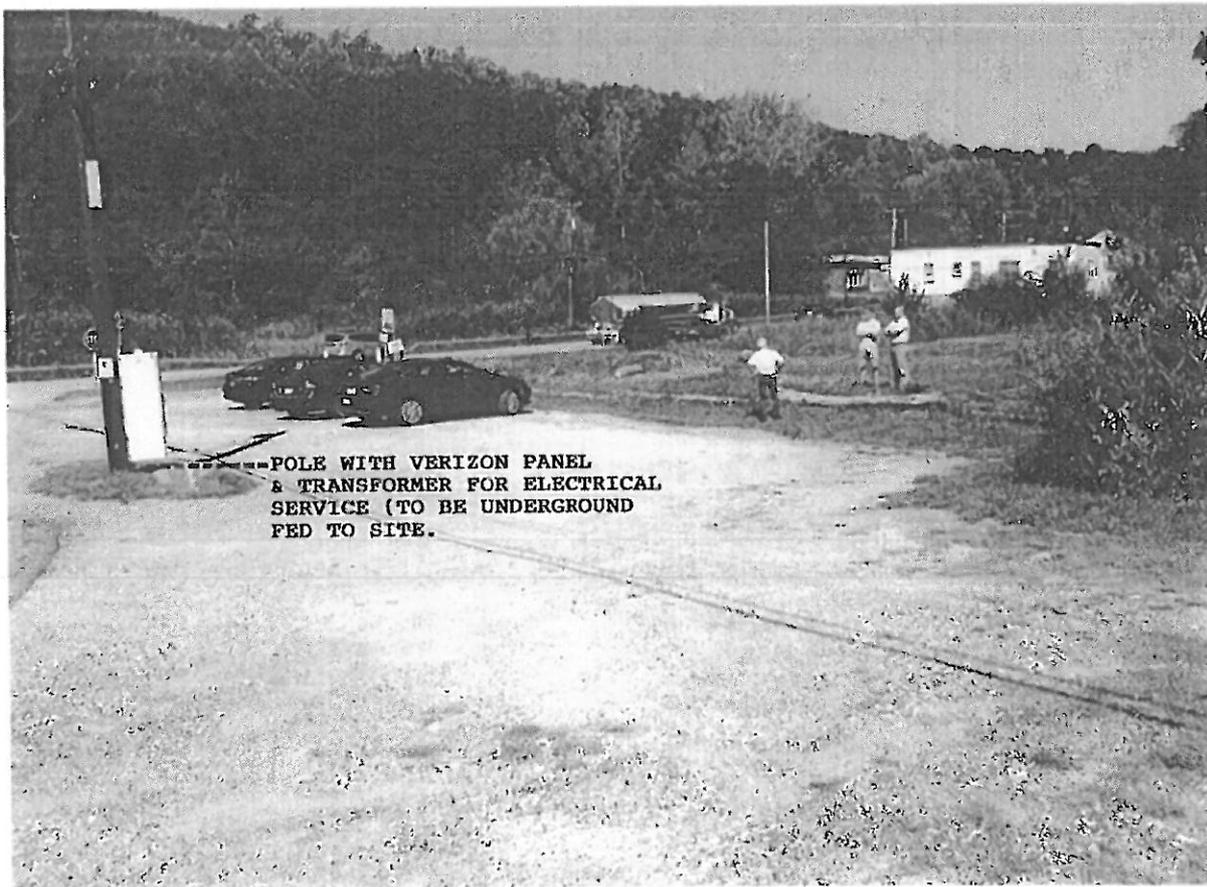
Sunny 85°F

VIEW LOOKING WEST ACROSS SOUTH PARKING LOT TOWARD ROUTE 55.
LOGS ARE ABOUT 38 FT± FROM EDGE OF PAVEMENT ON DUNWOODIE
ROAD. PILE OF WOOD CHIPS & LOG IN SW AREA OF LOT TO BE
REMOVED.

September 18, 2015

3/5

RSA Job # 14-261-218 Kent Countryside Nursery Site -- TM 33.56-1-14



---POLE WITH VERIZON PANEL
& TRANSFORMER FOR ELECTRICAL
SERVICE (TO BE UNDERGROUND
FED TO SITE.

LOOKING WEST ACROSS SOUTH PARKING LOT TOWARD ROUTE 55.
DUNWOODIE EDGE OF PAVEMENT ON LEFT.

Sunny 85°F

September 18, 2015

4/5

RSA Job # 14-261-218 Kent Countryside Nursery Site – TM 33.56-1-14



NEW DRAINAGE SYSTEM ALONG EAST SIDE OF ROUTE 55; SANITARY SEWER RUNS PARALLEL TO STORM DRAINAGE LINE TO SERVE PROPERTIES ON RTE 55.

Sunny 85°F

September 18, 2015

5/5

Town of Kent Planning Board
25 Sybil's Crossing
Tel: 845-225-7802

sent
email: planning@townofkentny.gov
Kent, NY 10512
Fax: 845-306-5283

Memorandum

DATE: August 20, 2015
TO: Accounting
CC:
FROM: Vera Patterson
RE: Kent Countryside Nursery - TM: 33.56-1-14

Please find enclosed Chase Bank Check 7152, dated August 20, 2015, in the amount of \$150.00 for a site plan. This is a new project for them for another piece of property on Route 52 next to Healeys. Please open a new account and there is \$329.32 left in their site plan TM: 33.48-1-5 which we'd like transferred into the new account.

RECEIPT		DATE <u>August 20, 2015</u>	No. <u>373627</u>
RECEIVED FROM <u>Fred Kussins/Kat Covert my side</u>		\$ <u>150.00</u>	
<u>One Hundred fifty grand ⁰⁰ 44</u>		DOLLARS	
<input type="radio"/> FOR RENT		<input type="radio"/> CASH	
<input checked="" type="radio"/> FOR <u>Site Plan - TM: 33.56-1-14</u>		<input checked="" type="radio"/> CHECK	
ACCOUNT		7152	
PAYMENT		FROM <u>V. Patterson</u> TO <u>F. Kussins</u>	
BAL DUE		<input type="radio"/> MONEY ORDER	
		<input type="radio"/> CREDIT CARD	
		BY _____	



Kent Countryside Nursery
61 Ludington Court
Carmel, NY 10512

Chase Bank
3112 Route 22
Patterson, NY 12563
60-17/223

7152

PAY TO THE
ORDER OF

Town of Kent
One hundred fifty 00 00/1000

\$ 150.00

DOLLARS

MEMO - Site Plan - 33.56.1-14

[Signature]

AUTHORIZED SIGNATURE

⑈007152⑈ ⑈022300173⑈

576105337⑈

THIS DOCUMENT MUST HAVE A COLORED BACKGROUND, ULTRAVIOLET FIBERS AND AN ARTIFICIAL WATERMARK ON THE BACK - VERIFY FOR AUTHENTICITY.

**Town of Kent Planning Board
Combined Application Form**

APPROVAL REQUESTED FOR: (Check all that apply)

Sketch Plan (subdivision) _____	Preliminary Subdivision _____
Final Subdivision _____	Lot Line Change _____
Site Plan _____ <input checked="" type="checkbox"/>	Conditional Use Permit _____
Freshwater Wetland _____	Steep Slope & Erosion Ctrl _____

Name of Project: Kent Countryside Garden Center

Description of Proposed Activity:
Temporary structure (sales office) with outdoor sales area for Christmas Trees, Spring Flowers, Pumpkins & other seasonal items

Name of Applicant(s): Fred Kussin, Kent Countryside Nursery Inc.

Address: 61 Ludington Court, Carmel, NY 10512

Telephone: 845-225-7766

Name and Address of Record Owner(s): Marianne Vitelli - (914) 497-0545

Dunwoodie Plaza Inc.

Tax Map Number of all parcels: 440 Route 52, Carmel, NY 10512

33.56-1-14

Doug Hall Realty: 225-8000

A) For All Applications:

- 1) Total acreage involved in application: 1.0
- 2) Total contiguous acreage controlled by applicant/owner (1): 1.0
- 3) Total number of existing structures: 0
- 4) Type of existing structures: N/A
- 5) Total square footage of all new construction: _____
- 6) Estimated value of new construction or addition: _____
- 7) Type of construction or activity proposed: (Check all that apply)

New Construction: Residential _____	Commercial <input checked="" type="checkbox"/> _____	Institutional _____
Expansion: Residential _____	Commercial _____	Institutional _____
Home Occupation: _____	Change in use: _____	Other: _____

8) Zoning District: _____

1) Shall include lands owned by family members of the applicant, and any corporation(s), partnership(s), limited liability company(ies) or other entities in which the applicant has an interest.

Kent Countryside 33.48-1-5

Date		Deposits	Fees	Balance
8/28/2014	check 6869	1,000.00		1,000.00
10/8/2014	Rohde 28550 Aug 2014		(98.72)	901.28
11/25/2014	Rohde 28613 Sept 2014		(50.48)	850.80
11/25/2014	Cornerstone Sept 2014		(125.00)	725.80
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6/9/2015	Rohde 28924 April 2014		(96.48)	391.82
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	last line			329.32

Transfer to:
~~33.48-1-5~~ 33.56-1-14

Town of Kent Planning Board
Combined Application Form

APPROVAL REQUESTED FOR: (Check all that apply)

Sketch Plan (subdivision) _____ Preliminary Subdivision _____
Final Subdivision _____ Lot Line Change _____
Site Plan ✓ _____ Conditional Use Permit _____
Freshwater Wetland _____ Steep Slope & Erosion Ctrl _____

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9) Does applicant intend to request any information waivers?

No Yes _____. If yes, please list all waivers (attach separate pages if necessary):

10) Are there agricultural and/or forestry exemptions affecting the property?

No Yes _____. If yes, please list in detail (attach separate pages if necessary):

11) Have any area or use variances affecting the property been granted?

No Yes _____. If yes, please list in detail (attach separate pages if necessary):

12) Have any permits affecting the property been issued by any other governmental agency?

No Yes _____. If yes, please list in detail (attach separate pages if necessary):

13) Has any application(s) for any other permit(s) for any activity affecting the property been submitted to any other governmental agency?

No Yes _____. If yes, please list in detail (attach separate pages if necessary):

14) Attach a copy of the current deed and any easements affecting the property.

Name and Address of Professional Engineer: _____

Telephone: _____

Name and Address of Licensed Land Surveyor: _____

Telephone: _____

Name and Address of Attorney: _____

Telephone: _____

Name and Address of Wetland Consultant: _____

Telephone: _____

B) For Subdivision and Lot Line Change Applications Only:

- 1) Total number of lots proposed: _____
- 2) What is the size of the smallest lot proposed? _____
- 3) What the size of the largest lot proposed? _____
- 4) Number of private driveways proposed: _____
- 5) Number of common driveways proposed: _____
- 6) Maximum number of lots serviced by a common driveway: _____
- 7) Number of private roads proposed: _____
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- 9) Preliminary Plat includes _____ acres and tentatively includes _____ future lots. The amount of area shown on this Preliminary Plat proposed to be dedicated for future public use, (exclusive of roads) is _____ (define measure: acres/square feet).
- 10) Does subdivider intend to submit a single subdivision plat for filing with County Clerk for all property in the Preliminary Plat? Yes _____ No _____. If no, state the number of sections to be filed _____.

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- 1) A map of the site, prepared using a recent boundary and topographic survey of the property showing conditions on the site as of the date of application, shall be submitted.
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- a) Lake/pond [] Control area of lake/pond []
 - b) Stream/River/Brook [] Control area of stream/river/brook []
 - c) Wetland [] Control area of wetland []
 - d) Not located in wetland/wetland buffer []
- 5) Attach a description of the proposed activity in the controlled area including the following: i.e. maintenance, construction of dwelling, addition, driveway, culverts, including size and location.
- 6) Attach a statement of compliance with §39A-8 of the Town Code.

D) For Steep Slopes and Erosion Control Permit Applications Only:

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- 2) Does the project involve any of the following:
- a) Any disturbance involving one (1) or more acres of land? Yes _____ No _____.
 - b) Any disturbance on ground areas having a topographical gradient equal to or greater than fifteen percent (15%) measured by utilizing two (2) foot contours?
Yes _____ No _____.
- 3) What is the date of the boundary and topographic survey used as the base map for the application?

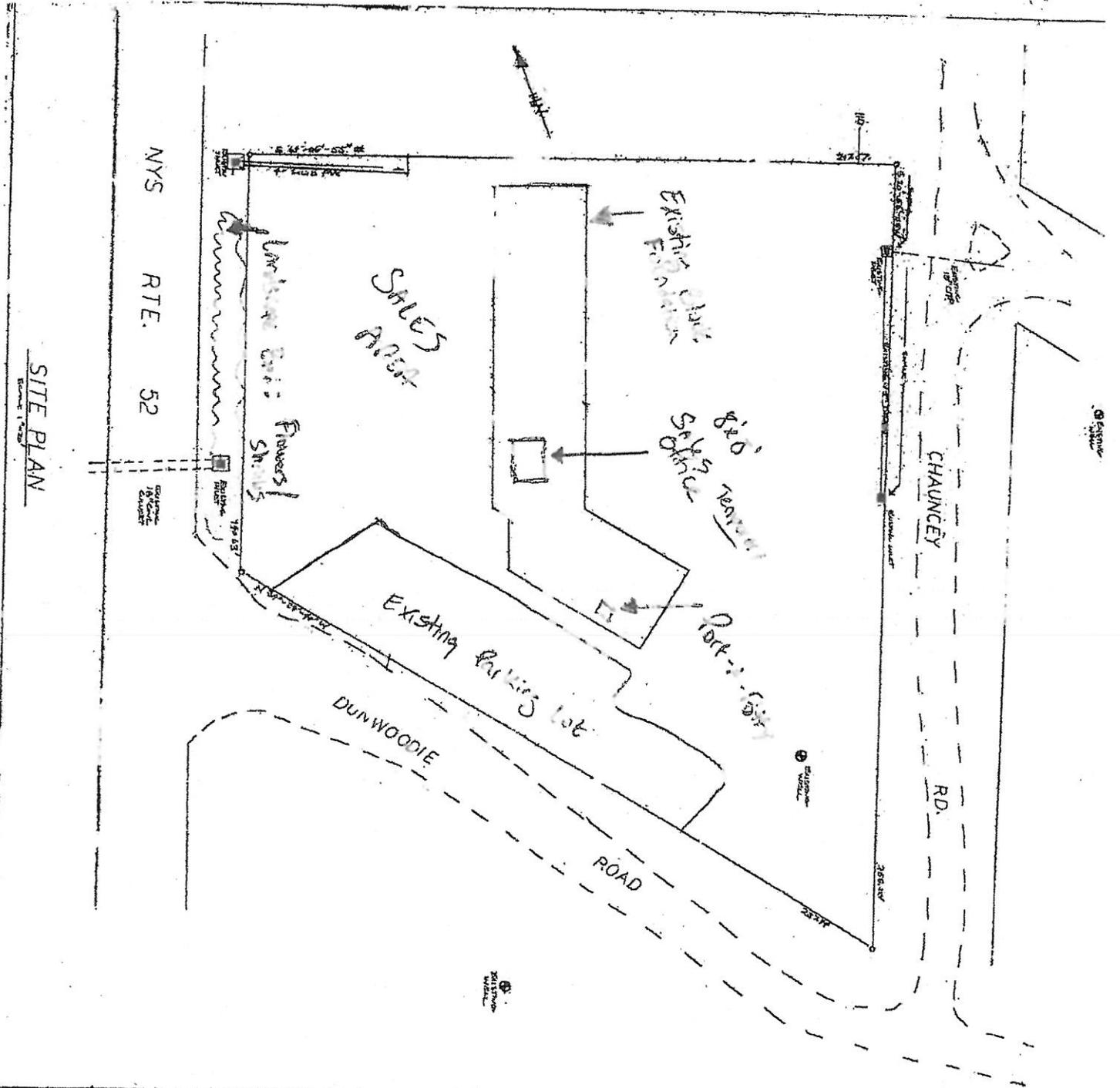
- 4) Refer to Chapter 66 of the Town Code for the application requirements.

By His/Her signature the Applicant avows that: 1) He/She has read this application and is familiar with its content, and 2) He/She has read, is familiar with, and understands the requirements of the Town Kent Code provision(s) affecting or regulating the project for which this application is made; and 3) He/She agrees to comply with the requirements of the Town Kent Code provision(s) affecting or regulating the project for which this application is made including any general or special conditions of any permits or approvals granted by any board, agency, or department of the Town of Kent; and 4) He/She has read this statement and understands its meaning and its terms.

Applicant Signature: 

Print Name: Fred Kussin

Date: 8-20-15



SITE PLAN

NYS
RTE. 52

CHAUNCEY
RD.

EXISTING
PARKING LOT

SALES
AREA

EXISTING
FORM

SALES
OFFICE

PORTAL

LANDSCAPE
EQUIP. STORAGE

EXISTING
CONCRETE
CURB

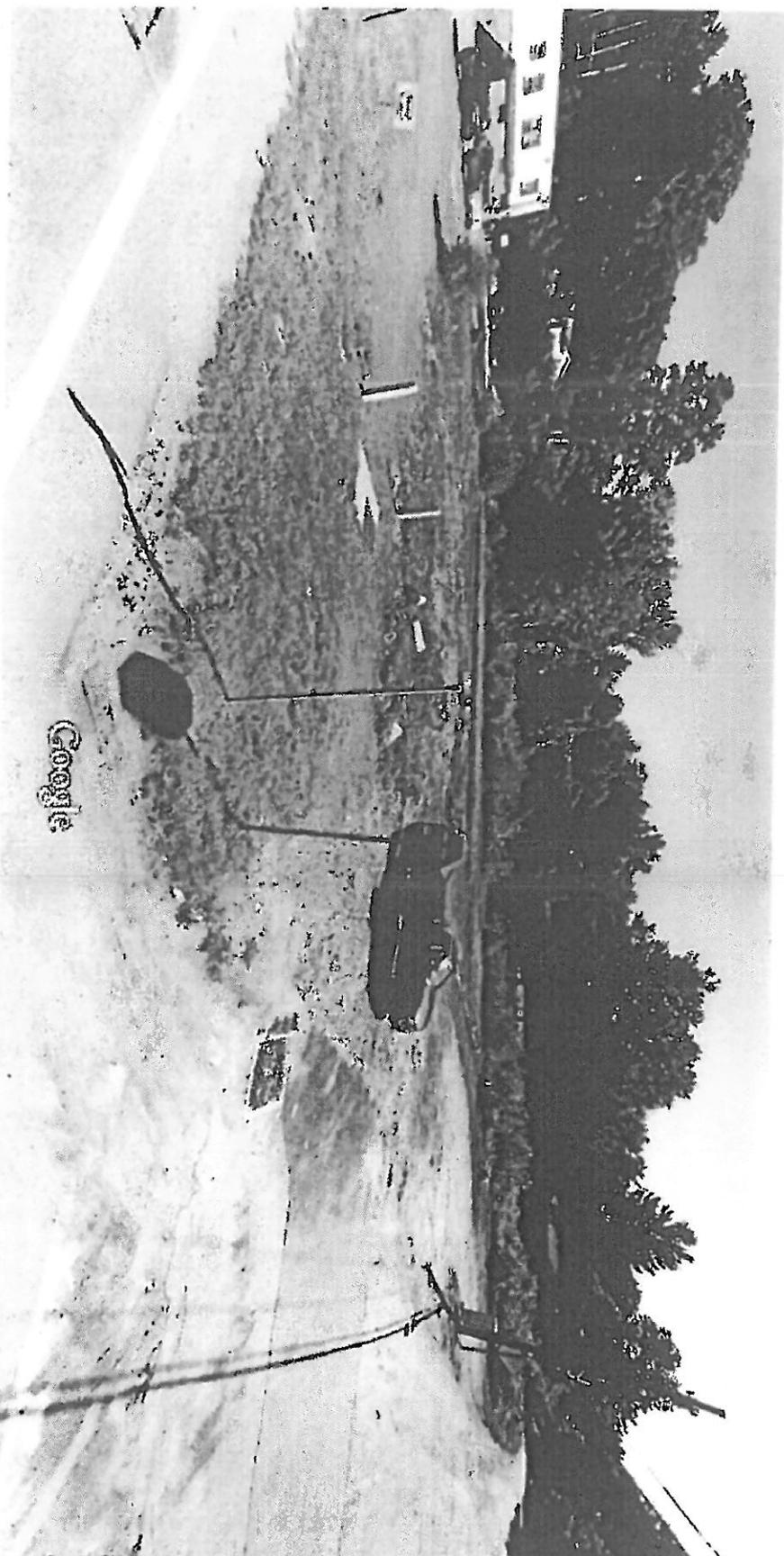
EXISTING
CONCRETE
CURB

EXISTING
CONCRETE
CURB

8/19/2015

486 Snadbeck Ave - Google Maps

Google 486 Snadbeck Ave



Lake Carmel, New York
Street View - Sep 2014

Image capture: Sep 2014 © 2015 Google

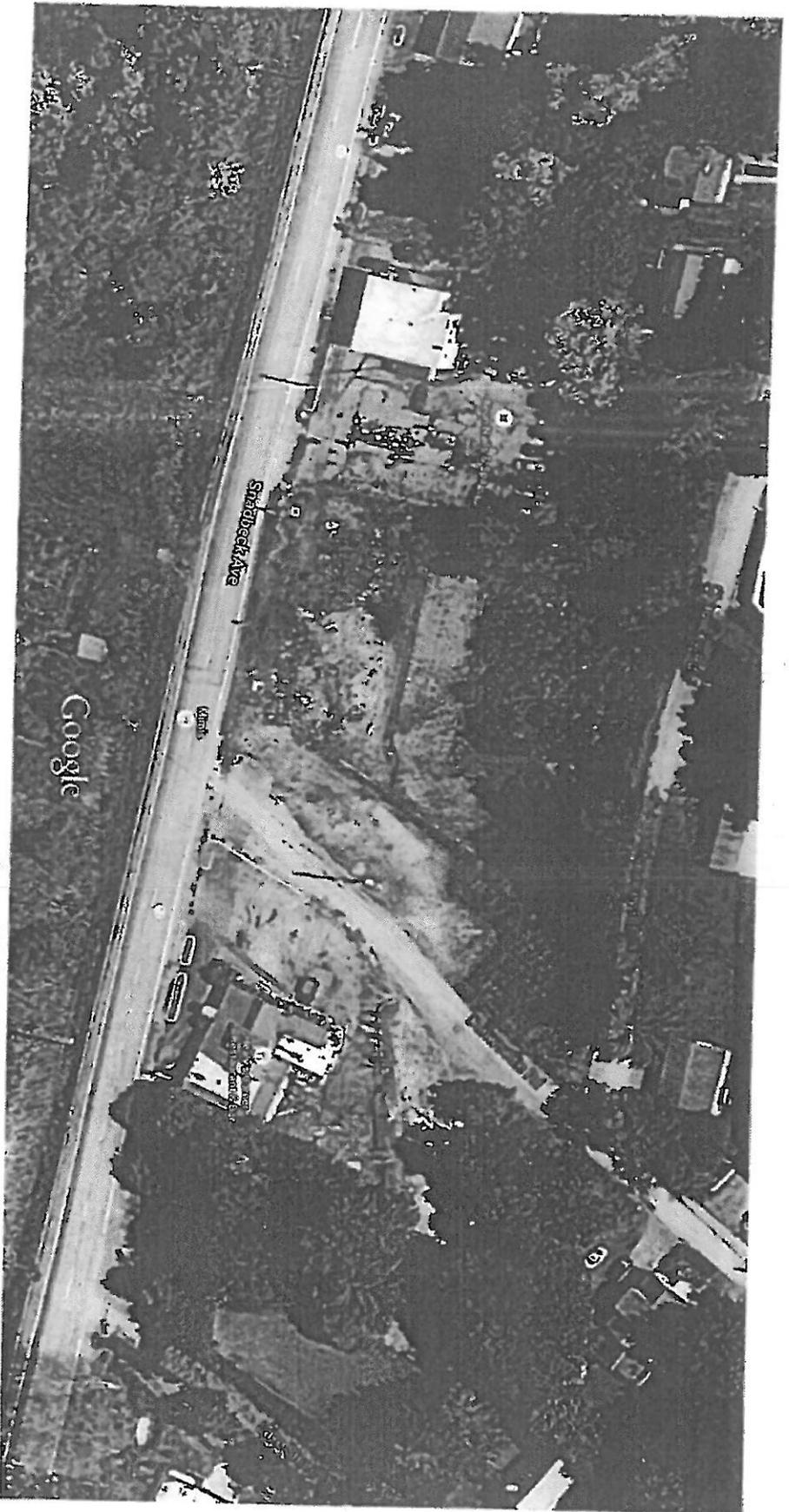
Grey Oak



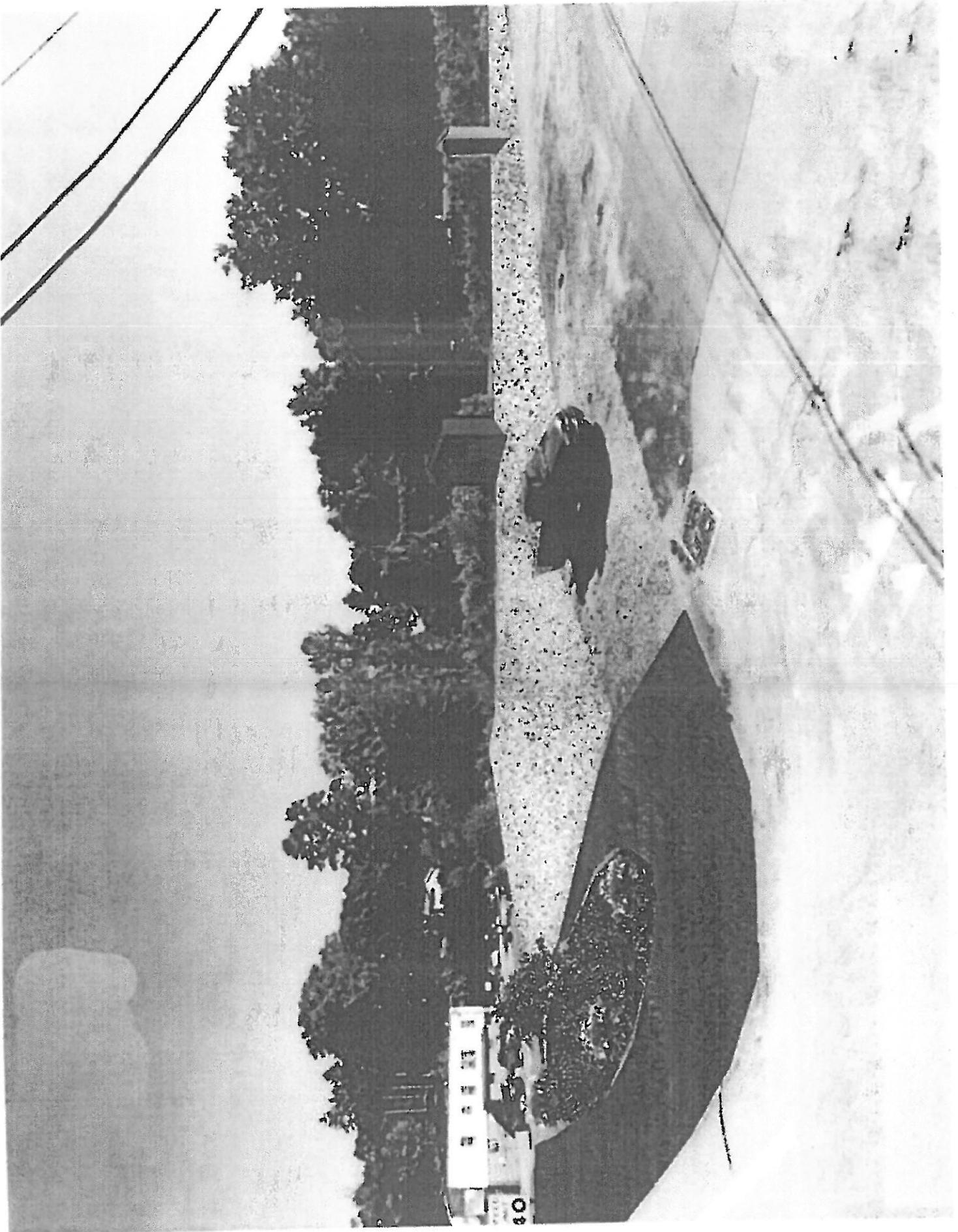
https://www.google.com/maps/@41.4533899,-73.6712582,3a,75y,82.11h,76.88t/data=!3m1!1e1!3m4!1sb9U_YrQcSYLEg604yeZ7kQ12e07133121816556



Google Google Maps



Imagery ©2015 Google, Map data ©2015 Google 50 ft



480 Route 52, Carmel, NY 10512, Putnam County



N/A	N/A	41,382	\$299,900	Active Listing
Beds	Bldg Sq Ft	Lot Sq Ft	MLS List Price	
N/A	N/A	COML LOT	N/A	
Baths	Yr Built	Type	Sale Date	

Owner Information

Owner Name:	Dunwoodie Plaza Inc	Tax Billing Zip:	10576
Tax Billing Address:	9 Knapp Rd	Tax Billing Zip+4:	1313
Tax Billing City & State:	Pound Ridge, NY	Owner Occupied:	No

Location Information

City/Town:	Kent	Subdivision:	Twelfth Lake Carmel Map
School District:	Carmel	Zoning:	C
Zip Code Property:	10512	Section:	2200-033-056
Census Tract:	104.00	Waterfront Influence:	Type Unknown
Carrier Route:	R005		

Tax Information

Tax ID:	2200-033-056-0001-014-000	Lot:	14
SWIS:	372200	APN:	372200-033-056-0001-014-00-0000
Block:	1		

Assessment & Tax

Assessment Year	2014	2013	2012
Assessed Value - Total	\$102,000	\$102,000	\$102,000
Assessed Value - Land	\$102,000	\$102,000	\$102,000
YOY Assessed Change (\$)	\$0	\$0	
YOY Assessed Change (%)	0%	0%	
Market Value - Total	\$102,000	\$102,000	\$102,000
Tax Year	Total Tax	Change (\$)	Change (%)
2012	\$3,866		
2013	\$4,149	\$284	7.34%
2014	\$4,404	\$254	6.13%

Characteristics

Property Class:	Vacant Commercial	Lot Acres:	0.95
Land Use - CoreLogic:	Tax: Commercial Lot MLS: Commercial Acreage	Lot St Ft:	41,382
Lot Frontage:	238	Water:	None
Lot Depth:	200	Sewer:	None

Listing Information

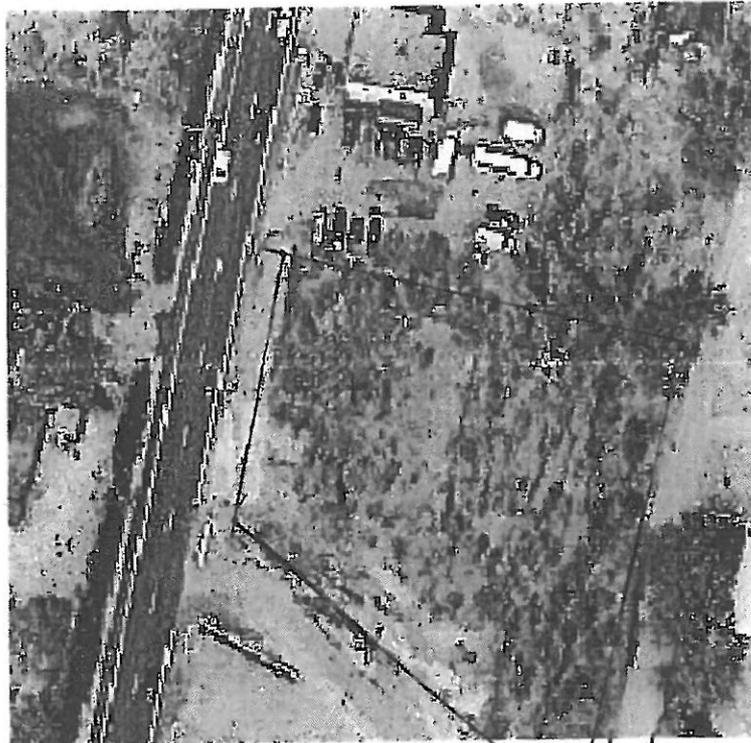
MLS Listing Number:	3313847	Original Listing Price:	\$299,900		
MLS Status:	Active	Listing Agent Name:	5016-Douglas Holly		
Current Listing Price:	\$299,900	Listing Broker Name:	HOLLY REAL ESTATE		
Days on Market:	842				
MLS Listing #	2208899	9822860	9822857	9810157	9808264
MLS Listing Date	06/13/2002	01/09/1999	01/09/1999	05/19/1998	04/22/1998

2

Kent Countryside Nursery

TM 33.48-1-5

9-17-15
TM 14-261-218



Rt 52
Snadbeck Ave

Chauncey Rd

Millwood Rd

Dunwoodie Rd

To: T/Kent Planning Board

1. Need to visit site tomorrow morning to check ground stabilization at sales + parking areas.
2. Check area around exist CB on Chauncey Street.
3. Check ground surface + vegetation.
4. Will any activity occur east of the existing block foundation?
5. Was this area used last year for the same use?

Bill Rohde

(2)

Kent Countryside Nursery

TM 33.4B-1-5

9-17-15
TM 14-261-218



Chourcey Rd

Millwood Rd

Dunwoodie Rd

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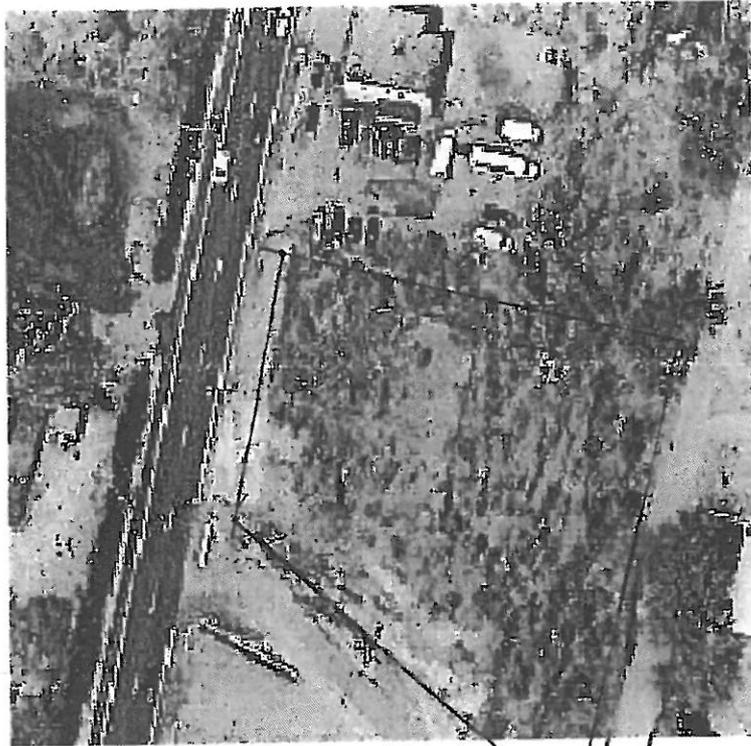
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Bill Rohde



cc & give
to George

Town of Kent Planning Board Members,

In our 21st year in business, we have seen the potential of our current location on Ludington Court. Our site is an ideal wholesale yard, but not the most retail-friendly. The goal of the proposed location is to increase retail store traffic via the frontage on Route 52. We are not looking for this new location to duplicate our current store, but rather to serve as a complementary satellite location, offering some of the smaller items we currently sell. Even in our 21st year, we have a customer nearly every day that says, "Wow, I never knew this place was back here." Our hope is that this new location can better accommodate our retail customers and provide exposure for our business as a whole, while bringing some new life to the area.

Sincerely,

Fred & Joe Kussin

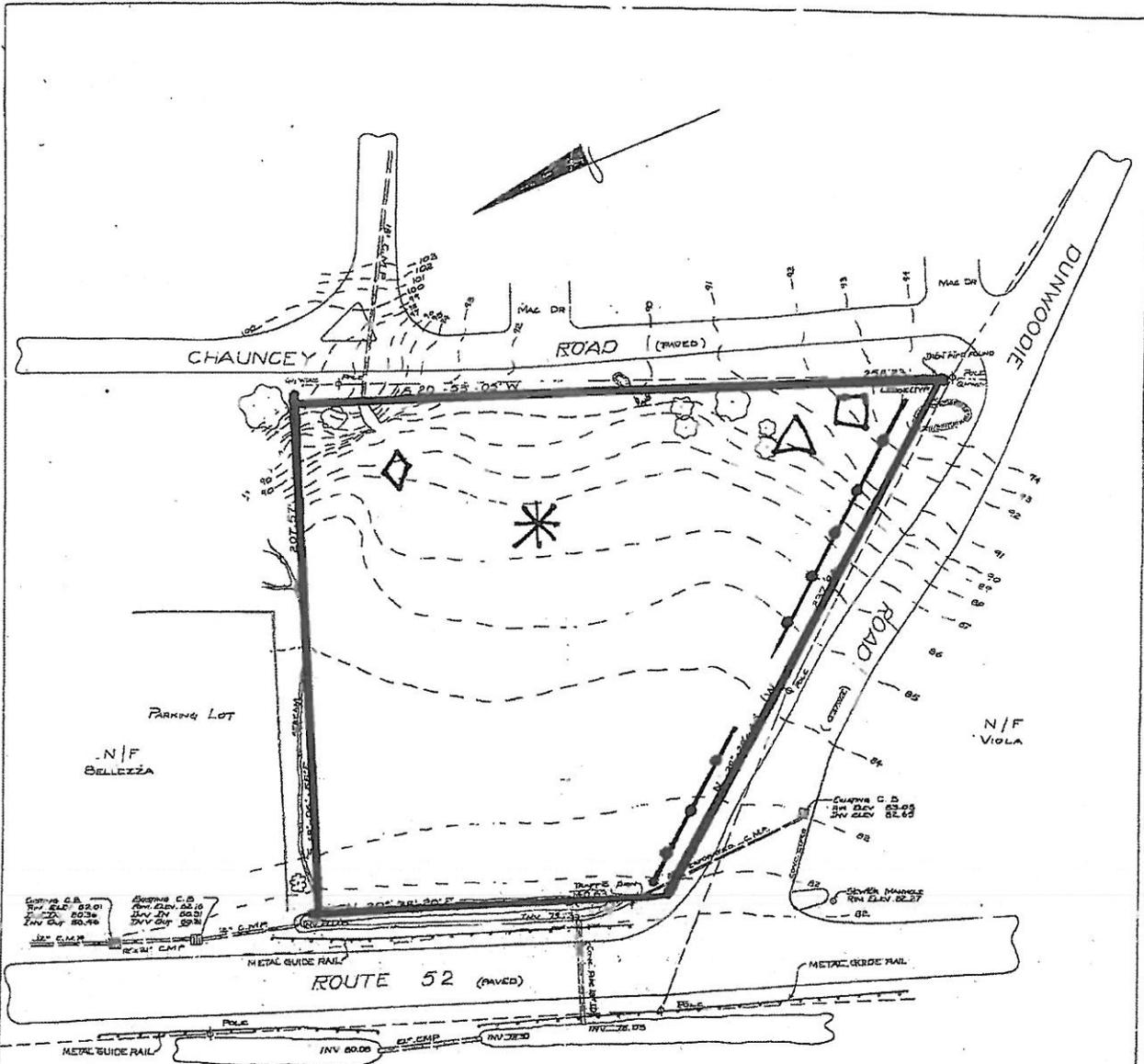
On the attached land survey, please note the following:

Structures

- There will be a split rail fence separating the parking lot from the sales area
- There will be an 8' x 8' moveable cashier's shed just beyond the parking lot near the center of the property
- Port-a-john toilets will serve as bathrooms for this outdoor store
- Nothing will be planted in the ground to be sold at future dates

Water

- There is an existing well on the property toward the southeastern corner (near intersection of Chauncey & Dunwoodie)
- This will serve as the water source for all irrigation
- A water cooler inside the shed will serve as drinking water



- * = SHED
- △ = WELL
- = ELECTRIC PANEL
- = SPLIT RAIL FENCE
- ◇ = PORT-A-JOHN

LEGEND

SURVEY OF PROPERTY SHOWN HEREON BEING LOTS 13671-13677 CL & LOTS 13625-13638 INCL AS SHOWN ON A MAP ENTITLED "TWELFTH MAP OF LAKE CARMEL" FILED IN THE PUTNAM COUNTY CLERK'S OFFICE ON AUG 14 1930 AS MAP NO 1306K

Underground Utilities or Encroachments, if any Not Shown.

GEORGE H. BURGESS, PE & L.S.
PROFESSIONAL LAND SURVEYOR
6 CASSE CT.
MAHOPAC, NEW YORK

TOPOGRAPHICAL
SURVEY OF PROPERTY
FOR
RODDY & MARIANNE IACOVINO
SITUATE IN
TOWN OF KENT
PUTNAM COUNTY, N.Y.
SCALE: 1" = 20' FEB 6 1990

02/11/90



2

Kent Countryside Nursery

TM 33.4B-1-5

9-17-15
TM 14-261-218



Chauncey Rd

Millwood Rd

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Brian Rohde

Town of Kent Planning Board
25 Sybil's Crossing
Tel: 845-225-7802

sent
email: planning@townofkentny.gov
Kent, NY 10512
Fax: 845-306-5283

Memorandum

DATE: August 20, 2015
TO: Accounting
CC:
FROM: Vera Patterson
RE: Kent Countryside Nursery - TM: 33.56-1-14

Please find enclosed Chase Bank Check 7152, dated August 20, 2015, in the amount of \$150.00 for a site plan. This is a new project for them for another piece of property on Route 52 next to Healeys. Please open a new account and there is \$329.32 left in their site plan TM: 33.48-1-5 which we'd like transferred into the new account.

RECEIPT		DATE <u>August 20, 2015</u>	No. <u>373627</u>
RECEIVED FROM <u>Fred Kussis/Kent Countryside</u>		\$ <u>150.00</u>	
<u>One Hundred fifty yard ⁰⁰ FAX</u>		DOLLARS	
<input type="radio"/> FOR RENT		<u>Site Plan - TM: 33.56-1-14</u>	
<input checked="" type="radio"/> FOR		<u>7152</u>	
ACCOUNT		<input type="radio"/> CASH	
PAYMENT		<input checked="" type="radio"/> CHECK	FROM <u>V. Patterson</u> TO <u>F. Kussis</u>
BAL. DUE		<input type="radio"/> MONEY ORDER	
		<input type="radio"/> CREDIT CARD	BY _____



Kent Countryside Nursery
61 Ludington Court
Carmel, NY 10512

Chase Bank
3112 Route 22
Patterson, NY 12563
80-17/223

7152

PAY TO THE ORDER OF

Town of Kent
One hundred fifty and 00/100

8-20-15
\$ 150.00

DOLLARS

MEMO - Site Plan - 33.56.1-14

[Signature]
AUTHORIZED SIGNATURE

⑈007152⑈ ⑈022300173⑈

576105337⑈

THIS DOCUMENT MUST HAVE A COLORED BACKGROUND, ULTRAVIOLET FIBERS AND AN ARTIFICIAL WATERMARK ON THE BACK - VERIFY FOR AUTHENTICITY.

**Town of Kent Planning Board
Combined Application Form**

APPROVAL REQUESTED FOR: (Check all that apply)

Sketch Plan (subdivision) _____	Preliminary Subdivision _____
Final Subdivision _____	Lot Line Change _____
Site Plan _____ <input checked="" type="checkbox"/>	Conditional Use Permit _____
Freshwater Wetland _____	Steep Slope & Erosion Ctrl _____

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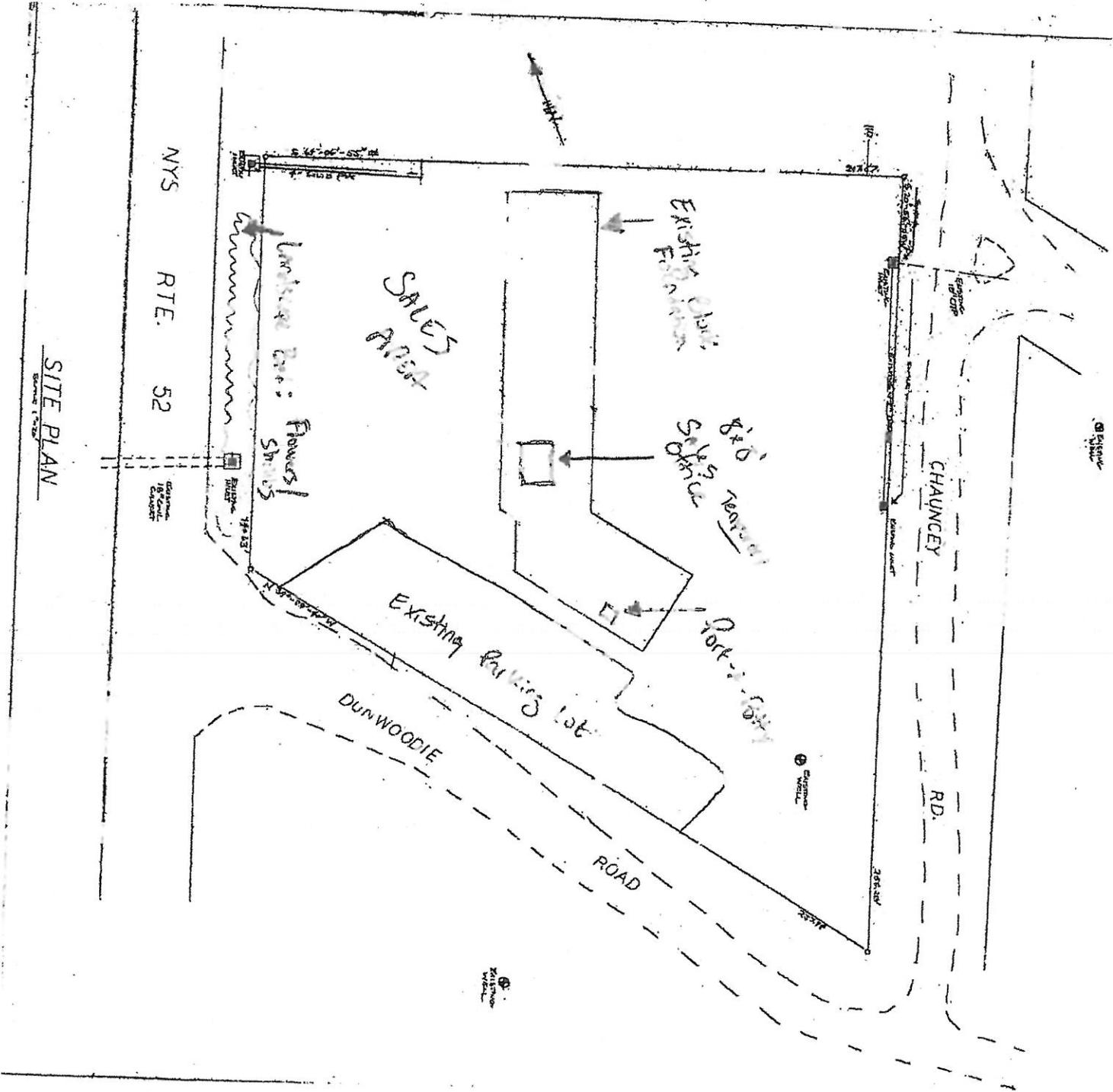
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Applicant Signature: 

Print Name: Fred Kussin

Date: 8-20-15



SITE PLAN

NYS RTE. 52

CHAUNCEY RD.

SALES AREA

EXISTING OFFICE

8x10 SALES TENT

EXISTING PARKING LOT

Landscape Trees: Flowers!

DUNWOODIE ROAD

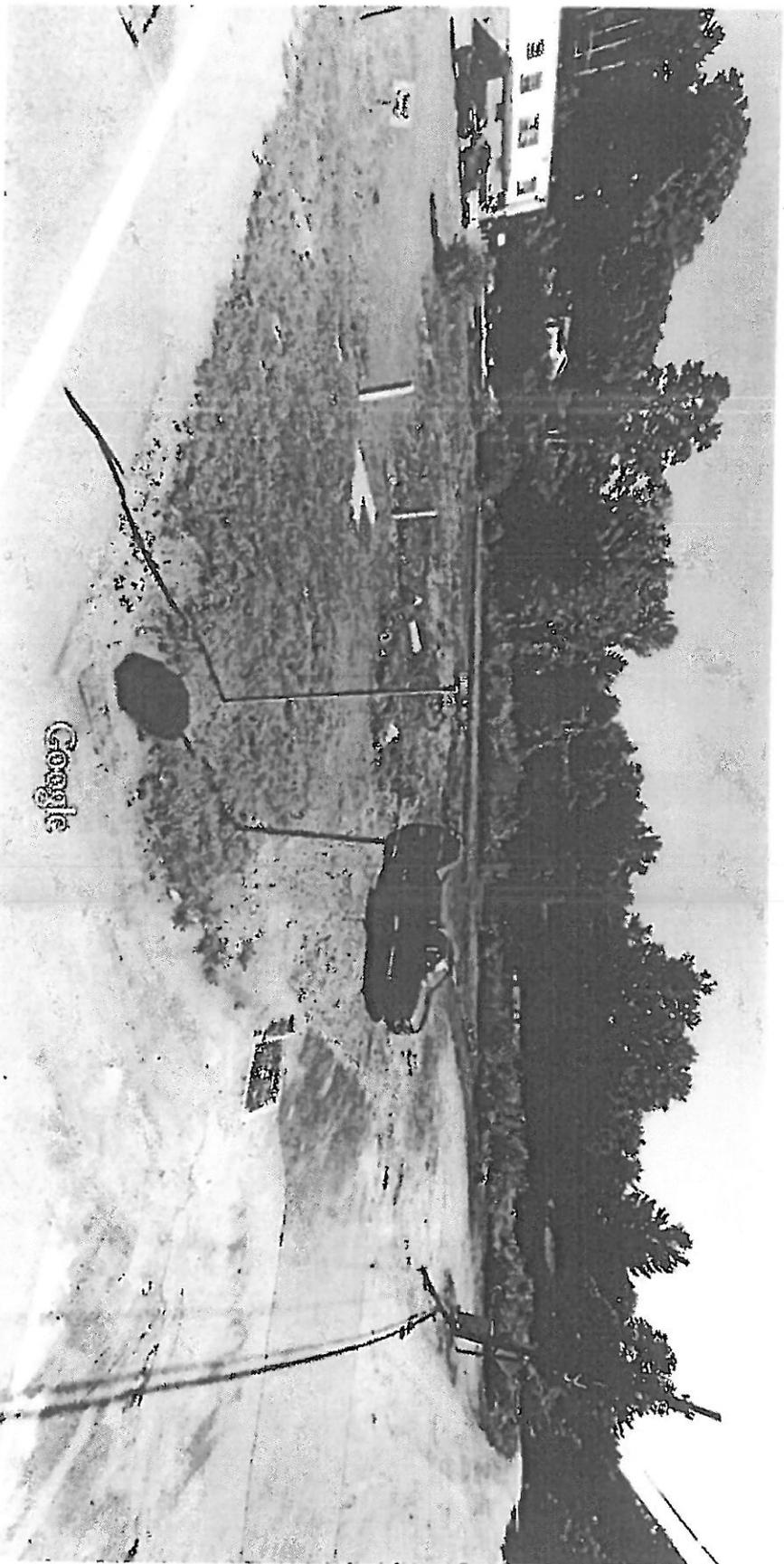
North Arrow

Scale 1" = 20'

8/19/2015

486 Snadbeck Ave - Google Maps

Google 486 Snadbeck Ave



Lake Carmel, New York
Street View - Sep 2014

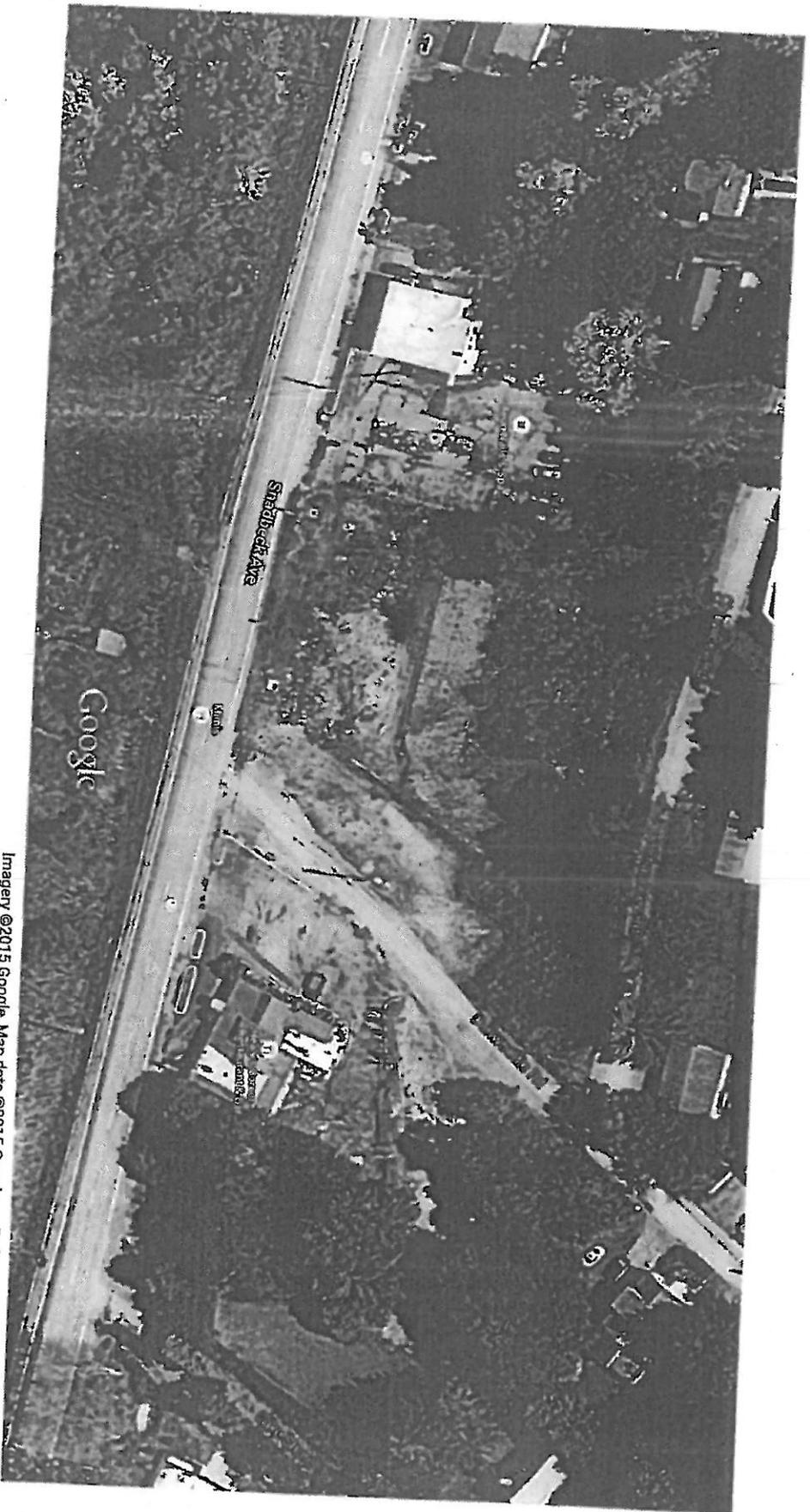
Image capture: Sep 2014 © 2015 Google

Grey Oak

https://www.google.com/maps/@41.4533899,-73.6712882,3a,75y,82.11h,76.89v/data=!3m1!1e1!3m4!1sbbU_YreQSYLEGR04yeZ1bQ12e0J713312l8l6656

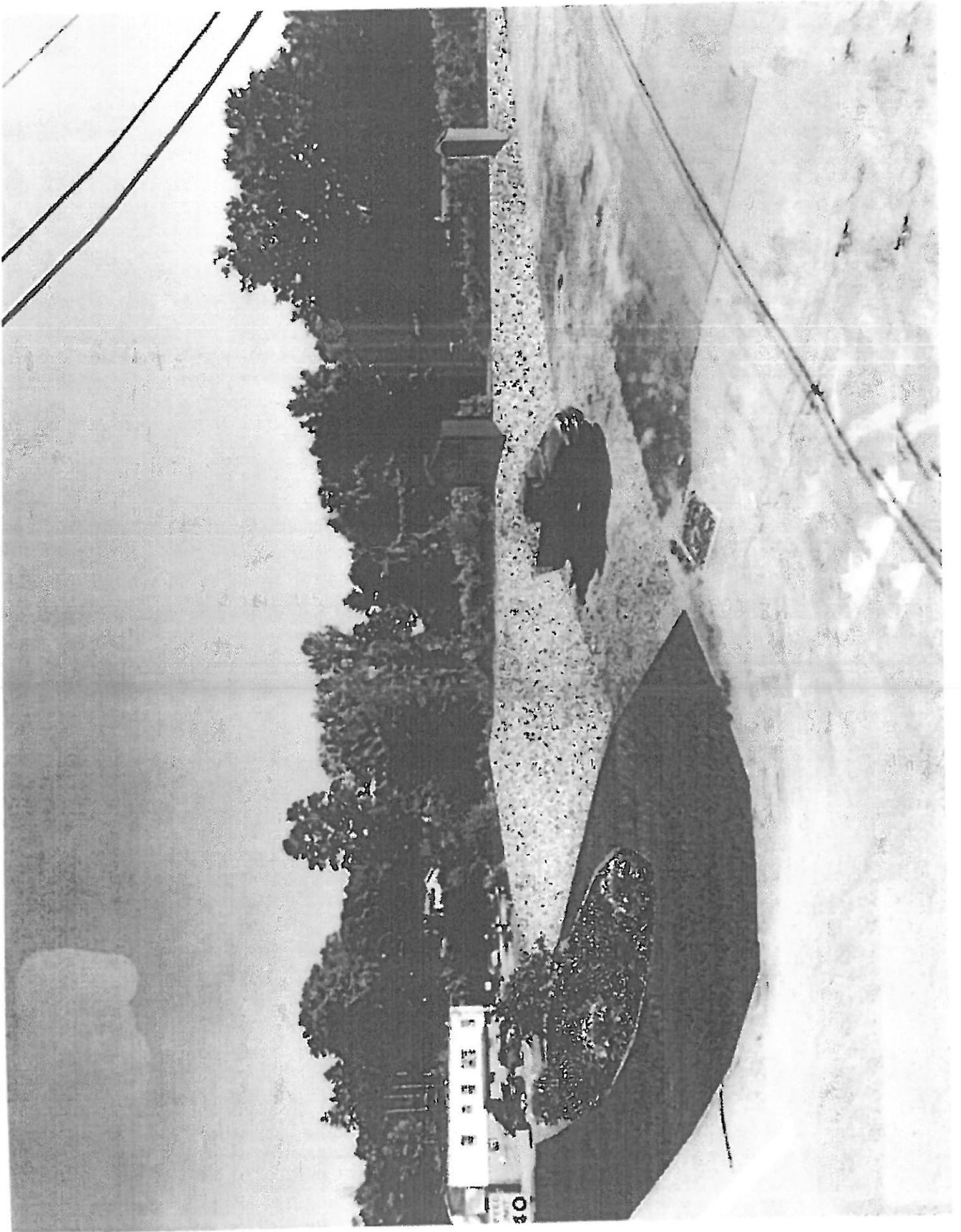


Google Google Maps



Imagery ©2015 Google, Map data ©2015 Google 50 ft

<https://www.google.com/maps/@41.453334,-73.8708949,340a,20y,90t/data=!3m1!1e3>



480 Route 52, Carmel, NY 10512, Putnam County



N/A	N/A	41,382	\$299,900	Active Listing
Beds	Bldg Sq Ft	Lot Sq Ft	MLS List Price	
N/A	N/A	COML LOT	N/A	
Baths	Yr Built	Type	Sale Date	

Owner Information

Owner Name:	Dunwoodie Plaza Inc	Tax Billing Zip:	10576
Tax Billing Address:	9 Knapp Rd	Tax Billing Zip+4:	1313
Tax Billing City & State:	Pound Ridge, NY	Owner Occupied:	No

Location Information

City/Town:	Kent	Subdivision:	Twelfth Lake Carmel Map
School District:	Carmel	Zoning:	C
Zip Code Property:	10512	Section:	2200-033-056
Census Tract:	104.00	Waterfront Influence:	Type Unknown
Carrier Route:	R005		

Tax Information

Tax ID:	2200-033-056-0001-014-000	Lot:	14
SWIS:	372200	APN:	372200-033-056-0001-014-00-0000
Block:	1		

Assessment & Tax

Assessment Year	2014	2013	2012
Assessed Value - Total	\$102,000	\$102,000	\$102,000
Assessed Value - Land	\$102,000	\$102,000	\$102,000
YOY Assessed Change (\$)	\$0	\$0	
YOY Assessed Change (%)	0%	0%	
Market Value - Total	\$102,000	\$102,000	\$102,000
Tax Year	Total Tax	Change (\$)	Change (%)
2012	\$3,866		
2013	\$4,149	\$284	7.34%
2014	\$4,404	\$254	6.13%

Characteristics

Property Class:	Vacant Commercial	Lot Acres:	0.95
Land Use -CoreLogic:	Tax: Commercial Lot MLS: Commercial Acreage	Lot St Ft:	41,382
Lot Frontage:	238	Water:	None
Lot Depth:	200	Sewer:	None

Listing Information

MLS Listing Number:	3313847	Original Listing Price:	\$299,900		
MLS Status:	Active	Listing Agent Name:	5016-Douglas Holly		
Current Listing Price:	\$299,900	Listing Broker Name:	HOLLY REAL ESTATE		
Days on Market:	842				
MLS Listing #	2208899	9822860	9822857	9810157	9808264
MLS Listing Date	06/13/2002	01/09/1999	01/09/1999	05/19/1998	04/22/1998

Courtesy of Douglas Holly, Hudson Gateway MLS Inc

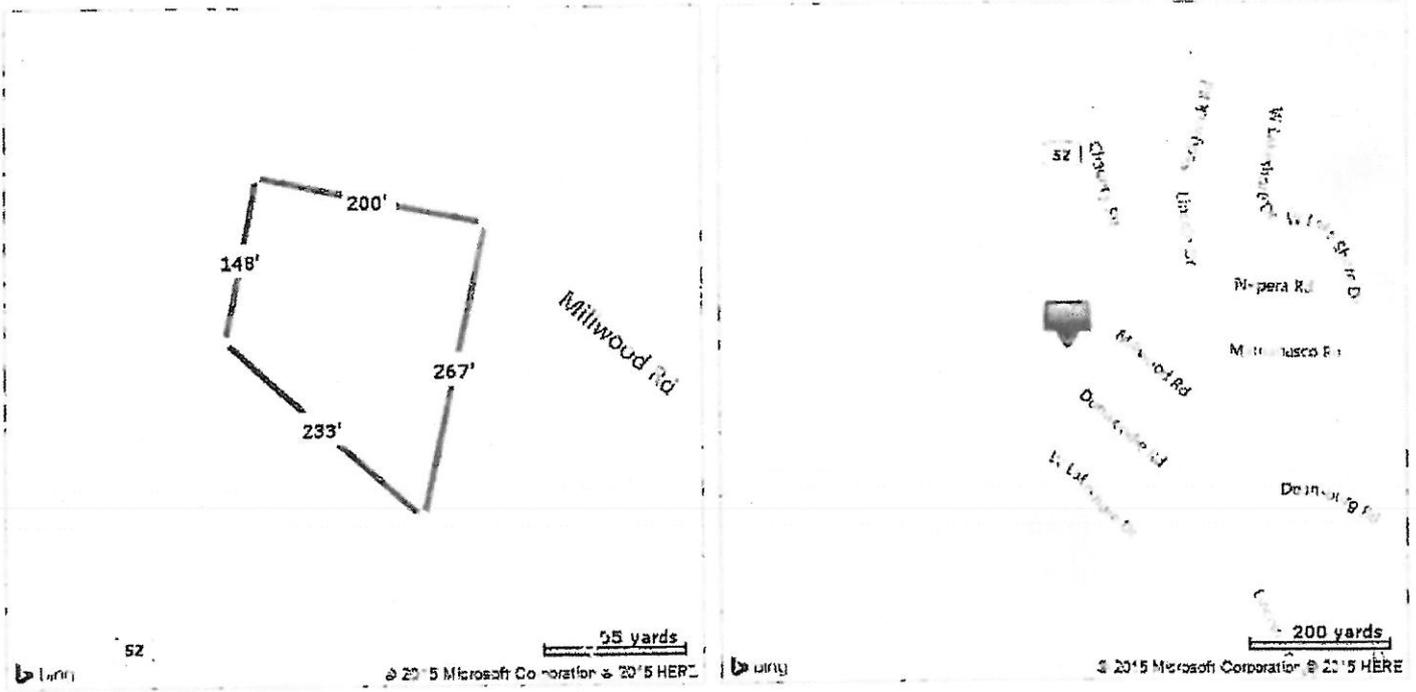
Property Detail

MLS Status Expired Expired Expired Expired Expired

Last Market Sale & Sales History

Recording Date:	04/16/1997	Owner Name:	Dunwoodie Plaza Inc
Document Number:	1381-240	Seller:	Iacovino Roddy S & Marianne S
Deed Type:	Grant Deed		
Recording Date	08/29/2011	04/16/1997	10/25/1996
Sale/Settlement Date	07/29/2011		
Sale Price			\$85,000
Nominal	Y		
Buyer Name	Vitelli Marianne S	Dunwoodie Plaza Inc	Dunwoodie Plaza Inc
Seller Name	Dunwoodie Plaza Inc	Iacovino Roddy S & Marianne S	Iacovino Roddy S & Marianne S
Document Number	1881-290	1381-240	1361-102
Document Type	Bargain & Sale Deed	Grant Deed	Grant Deed

Property Map



Vera Patterson

From: Neil Wilson [nwilson.lrcplanning@gmail.com]
Sent: Thursday, September 17, 2015 11:18 AM
To: barberbruce@yahoo.com; Bill Walters; Charles Sisto; Dennis Lowes; George Brunner; Glenna Wright; Janis Bolbrock; Julie Mangarillo; Michael McDermott; Phil Tomalch; planning@townofkentny.gov; Ron Blass; WRohde@rsaengrs.com
Subject: Kent Countryside Nursery
Attachments: Kent Countryside Nursery Site Plan 091715.pdf
Follow Up Flag: Follow up
Flag Status: Flagged

Attached is a review memo for tonight for Kent Countryside Nursery.

Please note that due to the change of the meeting date I will not be in attendance at tonight's meeting due to another standing meeting commitment. However, I am available by phone (mobile is best this afternoon at 914-475-2951) to answer any questions.

In regard to Towners Road Mart I have not prepared any resolutions of approval based on my assumption that the Board will likely receive comment at the public hearing tonight that will need to be considered before acting on the application.

I have no other project reviews.

Neil A. Wilson, Esq.
LRC Planning Services, LLC
8 Morehouse Road
Poughkeepsie, New York 12603-4010
Tele: 845-452-3822
Fax: 845-452-3346

LRC PLANNING SERVICES, LLC

LAND USE/REAL ESTATE/ENVIRONMENTAL CONSULTING

**8 MOREHOUSE ROAD
POUGHKEEPSIE, NEW YORK 12603-4010
TELE: 845-452-3822
FAX: 845-452-3346**

MEMORANDUM

TO: Town of Kent Planning Board
From: Neil A. Wilson
Date: September 17, 2015
Re: Kent Countryside Nursery
Application for Site Plan Approval

With reference to the above matter, we have reviewed the application for Site Plan Approval submitted by the applicant dated August 20, 2015 and offer the following for the Board's consideration:

1. The application as presented is atypical with respect to the information requirements normally required by §77-60 of the Zoning Law (see attached). The question for the Planning Board is whether the Board is willing to essentially waive almost all of the information requirements for a Site Plan application, and to accept a hand-drawn, unscaled, unsigned drawing prepared by some unknown and perhaps unlicensed person?
2. The application describes the use (i.e. sale of nursery stock and Christmas trees) as "seasonal" and the improvements (i.e. the office and port-a-potty) as temporary structures. However, nowhere does the application describe the seasonality of the use and the hours of operation. Is this truly a seasonal use that would be open only during specified weeks or months of the year? Or is this a use that is essentially permanent but changes its stock-in-trade as the seasons change? This should be discussed with the Board.
3. Items that will need to be provided and shown on the site plan:
 - a. Location and type of water supply for irrigation purposes.
 - b. Location and type of water supply for drinking purposes.
 - c. Location of electrical connections.
 - d. Location, type, style, and lumens of any on-site lighting. This would include compliance with the lighting standards at the property line as set forth in §77-44.3.
 - e. Location and striping of handicap parking space(s).
4. The Board will also need to consider whether it will hold a public hearing on the application.
5. Preliminarily, this matter appears to be a Type II Action under the SEQRA for which no environmental review is required.

6. The application will need to be submitted to the Putnam County Department of Planning for review pursuant to GML 239-m.
7. We have no further comment on the proposed site plan and defer to Bill Rohde with respect to any remaining site engineering, sewer, water supply, and storm water management impact issues, and to Bruce Barber with respect to any wetland issues.

Town of Kent, NY
Thursday, September 17, 2015

Chapter 77. Zoning

Article XVII. Special Use and Site Plan Requirements

§ 77-60. Approval of site plans.

- A. Purpose. The Town of Kent values the rural mixed-use character of the Town and wishes to encourage residential and nonresidential growth involving supporting adaptive reuse of existing structures and development of new structures, designs, and land uses that preserve the historic, scenic, and environmental character of the Town of Kent. To that end, the following regulations are intended to direct the development of land to accomplish this purpose.
- B. Consistency requirement. Before approving any use that is subject to special use permit or site plan review, the Planning Board must make a written finding that the proposed use, site layout, site design and architectural appearance will enhance and be protective of the aesthetic, historic and environmental features of the Town. In preparing a plan for development of land, the applicant shall give attention to the goals, objectives and the stated land use policies for the Town in the specific area in which the development is proposed. The Planning Board shall determine whether the site use, site design and architecture proposed by an applicant comply with the land use and environmental protection policies and objectives of the Town of Kent Master Plan.
- C. Applicability. Site plan approval by the Planning Board, in accordance with this section, is required for the following uses and activities:
- (1) All uses and uses accessory thereto which require site plan approval as set forth in this chapter.
 - (2) All special use activities.
 - (3) Any change of use involving a conforming use to another conforming use.
 - (4) Any change of use involving a nonconforming use to another nonconforming use.
 - (5) A change to an approved site plan or an approved subdivision plat where site plan approval was required.
 - (6) Activities for which a use variance has been granted by the Zoning Board of Appeals.
 - (7) New construction, extension, alteration, addition or change of use of land or structure.
 - (8) Extension, alteration or additions to a nonconforming building.
- D. Exemptions. The following activities are exempt from site plan approval:
- (1) Construction, extension or alteration of a single-family dwelling and accessory structures thereto on a lot legally in existence as of the date of this chapter, or on a lot approved by the Planning Board for single-family residential use pursuant to Chapter A81.
 - (2) The seasonal planting, cultivation and harvesting of field crops, fruits, vegetables, and horticultural specialties, including nursery stock, ornamental shrubs, and ornamental trees and flowers, whether as part of an existing or a new or expanded agricultural operation, and not involving the construction or

alteration of any structure.

- (3) Construction or alteration of the interior of a building or structure;
 - (4) Routine property maintenance activities, including repainting, repair, and in-kind replacement.
- E. Where site plan approval is required by this chapter, no building permit or certificate of occupancy shall be issued by the Building Inspector until such plan has been approved by the Planning Board as provided herein. No premises shall be occupied or used and no certificate of occupancy shall be issued until all of the requirements of this chapter, and any condition of Planning Board approval, have been complied with.
- F. Applications.
[Amended 3-23-2009 by L.L. No. 2-2009]
- (1) An application for site plan approval shall be submitted to the Planning Board on forms provided by the Board for such purpose. The application shall be submitted to the Planning Board by 12:00 noon at least 21 days prior to the date set for the regular meeting of the Board, and shall be made prior to the application for a building permit. The application shall be complete and in a form acceptable to the Planning Board and shall be accompanied by a detailed site plan. The site plan shall use as a base map an accurate boundary and topographic survey of the property depicting all existing improvements and grades prepared by a New York State licensed land surveyor. The plan shall depict all proposed improvements and shall be prepared by a professional engineer, a landscape architect, or an architect licensed by the State of New York and shall include the following information:
 - (a) A location map, at a convenient scale, showing the applicant's entire property and all boundaries, easements and streets within 500 feet thereof.
 - (b) The location, size, use and architectural design of all existing buildings and structures.
 - (c) The location of all property lines and structures within 200 feet of the property boundary, with topography extended 50 feet outward from the site property boundary and 200 feet outward along existing roads.
 - (d) Any proposed division of buildings into units of separate occupancy.
 - (e) Existing topography and proposed grade elevations at a contour interval of not more than two feet, unless waived by the Planning Board, soil types, wetlands and watercourses, one-hundred-year floodplains, bedrock outcrops, slopes in excess of 10%, and the location of trees with a diameter of eight inches dbh and greater.
 - (f) The location and capacity or number of all existing and proposed roads, driveways, parking and loading areas, including access and egress drives.
 - (g) The location of outdoor storage areas.
 - (h) The location of fire access roads and fire protection features.
 - (i) The location, description and design of all existing and proposed site improvements, including pavement, walkways, curbing, drains, culverts, retaining walls, fences, parks, open spaces, and recreation areas.
 - (j) The location, design and description of water supply and sewage disposal facilities
 - (k) The location, design and description of stormwater management facilities, including proposed grading plan.
 - (l) The location, height, size and design of all signs.
 - (m) The location, height, and species of landscape plantings on a landscape plan.
 - (n) The location and design of lighting and communication facilities.

- (o) The location, type and design of all waste and refuse storage and handling facilities.
 - (p) The character and location of all power distribution and transmission lines.
 - (q) The location and description of all subsurface site improvements and facilities.
 - (r) The extent and amount of cut and fill for all disturbed areas, including before-and-after profiles of typical development areas, parking lots, driveways and roads.
 - (s) Adequate provisions for the handling of stormwater runoff, including retention/detention, piping or channeling to existing or proposed drainage systems during and after construction.
 - (t) Phasing of development, if any.
 - (u) A signature block for Planning Board endorsement of approval.
 - (v) The name and address of the owner of the property proposed for development, along with the signature of said owner.
 - (w) The name and address of the applicant, if different, along with the signature of said applicant.
 - (x) At the request of the Planning Board, any other pertinent information as may be deemed necessary to determine and provide for the proper enforcement of this chapter.
- (2) Stormwater management.
- (a) No application for site plan approval shall be deemed complete unless it is accompanied by a stormwater pollution prevention plan (SWPPP) consistent with the requirements of Town of Kent Town Code Chapter 66, Articles IV and V. The SWPPP shall meet the performance and design criteria and standards in Chapter 66, Article IV. The approved site plan shall be consistent with the provisions of Chapter 66.
 - (b) All site plans shall be compliant with the New York City Department of Environmental Protection regulations for stormwater discharges.
- G. Information waiver. The Planning Board may grant a waiver from the information requirements contained herein where it finds that such information is not relevant to, or is not otherwise required, to conduct the review of the application.
- H. Site plan design criteria. The criteria in Subsections J through U of this section, inclusive, are intended to provide a framework for development within which the site designer is free to exercise creativity, invention, and innovation while recognizing the historic scenic and visual qualities inherent to the Town of Kent. The Planning Board, in its sole discretion, shall determine the applicability of the criteria to each application for site plan and special use permit approval, and may waive or modify the application of the criteria to each application on a case-by-case basis. In addition, the Planning Board shall use its discretion to reconcile any conflicts between the site plan design criteria of this section and any specific district design standards. Unless waived or modified by the Planning Board, the following criteria shall be in addition to any other area and bulk requirement of this chapter.
- I. Relationship of structures and buildings to site.
- (1) In the site plan design, consideration shall be given to the use of traditional building forms and layouts which are evidence of the distinctive historic development of the area and, in particular, of any specially designated or recognized scenic and historic districts within the vicinity of the proposed development. The importance of local historic, architectural, environmental and other features of significance to the property and of nearby properties shall be recognized as an integral element in the review process.
 - (2) The site shall be planned to accomplish a desirable transition with the streetscape to provide for adequate planting, safe pedestrian movement, and safe ingress and egress, and parking for vehicles.

- (3) Site planning in which setbacks and yards are in excess of minimum area and bulk requirements is encouraged to provide a variation in relationship between buildings.
 - (4) Parking shall, wherever feasible, be located to the rear or sides of buildings so as not to interfere with the front landscape treatment.
 - (5) Without restricting the permissible limits of the applicable zoning district, the height and scale of each building shall be compatible with its site and the existing, or anticipated, adjoining buildings. The Planning Board shall determine the visual compatibility of a proposed use or site plan change, including concerns for the proportion of the front facade, proportion and arrangement of windows and other openings within the facade (i.e., fenestration), roof shape and the rhythm and spacing of structures along the street front or roadway, including consideration of setbacks and the treatment of yards.
 - (6) The Planning Board shall encourage the use of a combination of common materials, landscaping, buffers, screens and visual interruptions to create attractive transitions between buildings of different architectural styles.
 - (7) Newly installed and renovated utility services, and service revisions necessitated by exterior alterations, shall be underground unless otherwise allowed by the Planning Board.
- J. Relationship of nonresidential uses to residential uses and districts.
- (1) Site plans proposed for nonresidential uses adjacent to a residential district or a residential property shall be reviewed with regard to the impact of the development on that district. The Planning Board is hereby expressly authorized to require such additional front, side and rear yard setbacks as may be required to ensure that the nonresidential use does not interfere with the quiet enjoyment of neighboring residential lands.
 - (2) The Planning Board shall ensure that the design of each parking area provides adequate room for snow storage.
- K. Landscape, buffering and site treatment.
- (1) Where possible, natural or existing topographic features and patterns that contribute to the beauty and character of a site or neighborhood shall be preserved.
 - (2) Grades of walks, parking spaces, terraces, and other paved areas shall provide an inviting appearance and shall be of such width, as determined by the Planning Board, to easily accommodate pedestrian movement.
 - (3) Landscape treatment shall be provided to enhance architectural features, strengthen vistas and visual corridors and provide shade.
 - (4) Unity of design shall be achieved by repetition of certain plant varieties and other materials and by coordination with adjacent developments.
 - (5) Plant material shall be selected for interest in its structure, texture and color and in consideration of its ultimate growth pattern. Vegetation indigenous to the area and others that will be harmonious to the design and exhibit a good appearance shall be used.
 - (6) In locations where plants will be susceptible to injury by pedestrian or motor traffic, appropriate curbs, tree guards, or other devices shall be installed and maintained. The Planning Board may require the use of markers to delineate curbing and other sensitive features to alert snow plow operators of the existence of such features and curbing.
 - (7) Screening of service yards, commercial vehicles, commercial trailers, passenger vehicles, parking areas, refuse containers, and other places that tend to be unsightly, shall be accomplished by use of walls, fencing, planting, or combinations of these with all such enclosures being compatible in material, texture, and color with the principle building or buildings on the site.

- (8) Landscaping shall be designed and maintained so as not to create hazardous conditions.
 - (9) Landscaping shall be maintained to preserve its original integrity and intended purpose during the life of the proposed use or project.
- L. (Reserved)^[1]
- [1] *Editor's Note: Former Subsection L, Stormwater management, was repealed 7-13-2009 by L.L. No. 4-2009.*
- M. Building design.
- (1) Proposed building design shall recognize compatible building forms indigenous to the community and the neighborhood in which the project is located. In particular, building design shall consider the historic character of the Town of Kent. Adaptive reuse of existing structures is strongly encouraged.
 - (2) Materials proposed for new structures and the rehabilitation/redesign of existing structures shall have good architectural character and shall be selected for harmony with traditional building materials. Except when wholly impractical, natural materials shall be used.
 - (3) Building components such as windows, rooflines, doors, eaves, and parapets shall have well-designed proportions and relationships to one another and be compatible with the historic character of the Town of Kent and the neighborhood setting of the proposed project.
 - (4) Mechanical equipment such as air conditioners, satellite dishes, or other utility hardware located on roofs, the ground, or buildings shall be screened from public view with materials harmonious with the building, specified as to color so as to blend with their surroundings, or located so as not to be visible from any public way or lands.
- N. Parking and loading.
- (1) Parking shall not be located within a front, side or rear yard setback.
 - (2) Parking areas, access aisles, and parking spaces facing or adjacent to property located in a residential district shall be set back an additional 15 feet from the minimum yard setback to provide a visual and noise buffer to such residentially zoned property. The fifteen-foot buffer shall be planted with a mixture of evergreen and deciduous plantings at a planted height so as to completely screen the parking area from neighboring properties and streets. In the case of practical difficulty, or where the Planning Board determines that the additional fifteen-foot buffer strip is unnecessary due to site conditions, the Board may reduce the depth of the buffer provided that the Board finds that such reduction will be at least as protective of property located in the residential district as the full-depth buffer. The species type, location and planted height of such landscaping shall be subject to the approval of the Planning Board.
 - (3) Parking areas and traffic ways shall be enhanced with landscaped islands, containing trees and tree groupings. The interior (i.e., nonperimeter) areas of a proposed parking area shall be appropriately landscaped, and for parking lots containing 20 or more parking spaces, such landscaping shall comprise not less than 15% of the land area of the proposed parking facility.
 - (4) The Planning Board may allow parking spaces within a yard setback line if it finds that such parking will not detract from the aesthetic character of the area and is otherwise consistent with the purposes of this section.
 - (5) Notwithstanding the requirements for off-street loading spaces as specified in Article XI of this chapter, the Planning Board may require additional space(s) for delivery vehicle loading, may require larger dimensions for each loading space, may require additional setback from adjacent buildings and structures, and may require larger dimensions and means of access for vehicles to such loading spaces than may be stated elsewhere in this chapter.
- O. Material and equipment storage and waste containers.
- (1) Material and equipment other than as shown on an approved site plan shall be stored so as to not be

visible from adjoining or nearby properties and public roads. Storage of materials shall be within wholly enclosed structures approved for such use, or shall be screened from view by fencing or landscaping, or a combination of fencing and landscaping, as determined by the Planning Board. Accessory outdoor storage of materials shall be set back not less than 15 feet from any lot line, not more than 10 feet in height and suitably screened by a solid fence or other suitable means of at least six feet in height. Accessory outdoor storage shall be prohibited between the principal building and any street line.

- (2) Adequate facilities for disposal of refuse shall be provided. All refuse disposal units, or locations for deposit of refuse, shall be screened from view and designed so as to be fireproof and/or fire-retardant, and to prevent access by rodents, dogs and vermin such as cats. All such enclosures shall remain closed at all times, and shall be designed to prevent blowing of paper and refuse.
- P. Ecological considerations.
- (1) The proposal shall result in minimal degradation of unique or irreplaceable land types and in minimal adverse impact upon areas of environmental concern.
 - (2) The proposal shall conform with the existing geological and topographic features, to the end that the most appropriate use of land is encouraged.
- Q. Drainage. The proposed development shall be so designed as to provide for proper surface water management through a system of controlled drainage that preserves existing drainage patterns and protects other properties and the environment. All drainage plans shall be reviewed and approved by the Planning Board Engineer.
- R. Traffic.
- (1) All entrance and exit driveways shall be located with due consideration for traffic flow, so as to afford maximum safety to traffic on public streets and shall meet all current design standards of the appropriate state, county or Town authority unless specifically waived or modified by that authority.
 - (2) On-site circulation shall be designed for ease of use and to connect safely with adjoining properties where appropriate.
- S. Pedestrian circulation. Pedestrian circulation shall be separated from motor vehicle circulation. Appropriate walkways shall be provided on the site and its approaches as determined by the Planning Board.
- T. Architectural review. In addition to the requirements of this section and the Town subdivision regulations, during review of any site plan, the Planning Board may, at its discretion, consult with one or more persons or firms having experience in building architecture and design matters as to the appropriate design of building exterior facades, fenestrations, roof lines, lighting, massing, color and materials. In reviewing the architectural appearance of proposed buildings and landscaping, the Planning Board shall evaluate the compatibility of the proposed development with that found elsewhere in the vicinity of the project. The Board may, at its discretion, consult with one or more persons or firms having experience in landscape architecture and landscape planting as to the appropriate design of lawns and open spaces around proposed buildings and uses, and the appropriate species, size and number of plants to be installed. The architectural review authority of the Planning Board shall not be limited by the provisions of this section but shall extend to the full authority to conduct such reviews as may be conferred on the reviewing agency by the Town Law, the State Environmental Quality Review Act, and this chapter, as amended. The reasonable cost of any architectural review shall be borne by the applicant.



Cornerstone Associates

Environmental Consultants
1770 Central Street
Yorktown Heights, NY 10598
Phone: (914)-299-5293

September 15, 2015

To: Planning Board

From: Bruce Barber
Town of Kent Environmental Consultant

Re: **Kent Countryside Nursery**
480 Route 52
Section 33.56 Block 1 Lot 14

Please be advised that based upon a review of the sketch provided by the applicant, a Town of Kent wetland permit will be required for the proposed action. It is recommended that the applicant revise the sketch to indicate the wetland buffer line on the subject parcel.

The sketch indicates a landscape bed to be installed along Route 52 in the area of a drainage catch basin. It is recommended that the Planning Board engineer review the sketch to ensure that this drain will not be blocked and that there will not be any sediment leaving the site and deposited in the wetland across the street. T

Please do not hesitate to contact me should you have any questions.

Sincerely,

Bruce Barber, PWS, Certified Ecologist
Town of Kent Environmental Consultant



September 11, 2015

Town of Kent Planning Board
Town Hall, 770 Route 52
Carmel, New York 10512

RE: Hartshorn Professional Park Site Plan
NYS Route 311
Town of Kent, New York
Tax Map No. 12.-1-88

Dear Chairman McDermott and Members of the Board:

Enclosed please find six (6) copies of the following documents for the above-referenced project:

- Site Plans (6 sheets) last revised April 30, 2012.
- Putnam County Department of Highways & Facilities Permit, dated May 29, 2012 (2 copies).
- Renewal Approval Letter from Putnam County Department of Health, dated August 17, 2015.

On August 13, 2015, the Board reaffirmed the previous SEQR negative declaration and re-granted final special-use permit, site plan, freshwater wetland permit, steep slope and erosion control permit approval.

In response to comments at the Planning Board meeting on August 13, 2015, we offer the following responses:

1. A consultant site visit was conducted on August 21, 2015.
2. The lean-to drains away from the parking lot and the storm basin. It was agreed at a site visit with Town of Kent Planning Board staff that a 2' wide x 2' deep infiltration trench will be installed under the dripline of the lean-to. The infiltration trench will be shown on the As-Built Drawing.

In response to the conditions outlined in the Special Use Permit, Site Plan, Freshwater Wetland Permit, Steep Slope and Erosion Control Permit Approval Resolution dated August 13, 2015, we offer the following:

1. It is our understanding that all outstanding comments of the Planning Board Professional Engineer have been satisfied.
2. It is our understanding that all outstanding comments of the Planning Board Environmental Consultant have been satisfied.
3. Prior to obtaining the Chairman's signature on the project plans, the following additional approvals and permits shall be obtained and any conditions following, or otherwise stated in this resolution, shall be complied with:
 - a. The site plans remain unchanged from the previous approval. The Steep Slope and Erosion Control Permit was issued under the previous approval.
 - b. The agreements required under Chapter 66 of the Town Code were approved and executed under the previous approval and are still valid.
 - c. The access to the site is from a county road. The approval from the Putnam County Department of Highways & Facilities for the proposed access to the site was provided under the previous approval, is still valid. A copy of the approval has been included as part of this submission.

3 Garrett Place, Carmel, New York 10512 (845) 225-8690 Fax (845) 225-9717
www.insite-eng.com

- d. There are no required approvals from the New York City Department of Environmental Protection for this project.
- e. The approval from the Putnam County Department of Health for the proposed well and subsurface sewage treatment system is included as part of this submission.
- f. There are no required approvals from the United States Army Corps of Engineers for this project.
4. With regard to the Freshwater Wetland Permit, it is understood that the applicant shall comply with Bruce Barber's conditions of approval regarding bonding and inspections.
5. The site plans are unchanged from the previous approval. A note is included on the plans as General Note #14 regarding the implementation of all required erosion controls prior to commencement of the site work.
6. The site plans are unchanged from the previous approval. A note is included on the plans as General Note #18 regarding the requirement for limiting hours of construction.
7. The site plans are unchanged from the previous approval. A note is included on the plans as General Note #16 regarding the requirement for an "as-built" survey.
8. The applicant is aware that payment is required to the Town of Kent for the following fees:
 - a. Any unpaid or outstanding application fees.
 - b. Any review fees accrued by the Planning Board during the review of the application.
 - c. Any inspection fee, in the amount established by the Planning Board.
9. A note is included on the plans as General Note #15 regarding the requirement for submitting proof that each of the conditions of this Approval have been completed to the satisfaction of the Planning Board's consultants.
10. The applicant is aware that the project shall be constructed in accordance with the project plans.
11. The applicant understands that the site plan approval expires 12 months from the date of approval unless otherwise extended by the Planning Board.

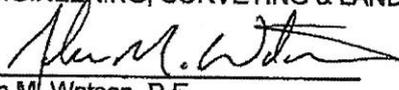
We trust that you will find this information in order. The drawings are being submitted for signature by the the Planning Board Chairman.

Should you have any questions / comments or require additional copies of the enclosed information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


John M. Watson, P.E.
Principal Engineer

JMW/dlm

Enclosures

cc: Kathy Hartshorn, with enclosures

Insite File No. 11157.100

ALLEN BEALS, M.D., J.D.
Commissioner of Health



MARYELLEN ODELL
County Executive

ROBERT MORRIS, P.E., MPH
Director of Environmental Health

DEPARTMENT OF HEALTH
1 Geneva Road, Brewster, New York 10509
Phone # (845) 808-1390 Fax # (845) 278-7921

August 17, 2015

Hartshorn Professional Park, LLC
843 Farmers Mills Road
Carmel, NY 10512

Re: Renewal Approval of Plans for a Wastewater Treatment
System for Hartshorn Professional Park
@ Ludingtonville Road
(T) Kent, TM 12-1-88

To whom it may concern:

This office has received the engineering report, plans and application for the wastewater treatment system for the above-noted project.

Upon review, it has been determined that the submission meets the applicable criteria of the NYS Department of Environmental Conservation and the Putnam County Health Department for the design of sewage treatment systems. This approval of plans is issued under provisions of Article 3 of the Putnam County Sanitary Code, Article 17 of the Environmental Conservation Law and 6 NYCRR 652, and is issued for plans prepared by Insite Engineering bearing the latest revision date of July 21, 2015.

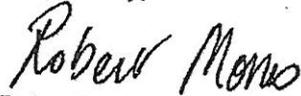
This letter shall serve as record of approval and by initiating construction of the project covered by this approval of plans, the applicant accepts and agrees to abide by and conform to the following:

1. THAT the approval letter shall be maintained on file by the applicant.
2. THAT the approval is revocable or subject to modification or change pursuant to Article 3 of the Putnam County Sanitary Code and Article 17 of the Environmental Conservation Law.
3. THAT the facilities shall be fully constructed and completed in compliance with the engineering report, plans, and specifications as approved.
4. THAT the construction of the facilities shall be under the supervision of a person or firm licensed and registered to practice professional engineering in the State of New York under the Education Law of the State of New York, which supervision is the responsibility of the applicant.
5. THAT the design professional supervising such construction shall certify to the Department in writing, that the construction of the facilities has been under their supervision and that the work has been fully completed in accordance with the approved engineering reports, plans and approval of plans.

6. THAT the design professional shall submit an application for construction compliance consisting of "as-built" plan and guarantee after construction is completed together with certification by the engineer that the sewage treatment system has been completed in conformance with the approved plans.
7. THAT the occupancy of the building and operation of the sewage treatment system shall not be permitted until the construction compliance and authorization to operate are approved by this Department.
8. THAT the approval is valid for two (2) years and expires on August 17, 2017.
9. THAT the approval of this Department shall be secured for each change of usage to insure that the maximum flow of 300 gallons per day is not exceeded.
10. THAT a master water meter be installed and a record of daily readings be submitted to this Department monthly.
11. THAT the Health Department be notified when the construction starts on the system and also notified prior to backfill of the system.
12. THAT the wastewater facilities are to receive sanitary wastes only. The Putnam County Health Department shall be promptly notified in the event that any wastes other than strictly domestic sanitary wastes are produced at this facility.

This Department is forwarding three (3) copies of the approved construction permit and two (2) copies of the approved construction plans to your design professional. This approval of plans is issued for the construction of a 1,000 gallon septic tank and 188 LF of absorption trenches.

Respectfully,



Robert Morris, P.E.
Director of Environmental Health

MBJ:cw

cc: J. Watson, P.E.
D. Shedlo, NYCDEP
B. Walters, B.I. (T) Kent
M. Budzinski, P.E.

DEI

7/24/15

PUTNAM COUNTY DEPARTMENT OF HEALTH DIVISION OF ENVIRONMENTAL HEALTH SERVICES

CONSTRUCTION PERMIT FOR SEWAGE TREATMENT SYSTEM

PERMIT # CO-01-12K CO-0112-K

Located at LUDINGTONVILLE ROAD Town or Village KENT

Subdivision name N/A Subd. Lot # N/A Tax Map 12 Block 1 Lot 88

Date Subdivision Approved N/A Renewal X Revision _____

Owner/Applicant Name HARTSHORN PROFESSIONAL PARK LLC Date of Previous Approval 6/20/12

Mailing Address 843 FARMERS MILLS RD, CARMEL, NY Zip 10512

Amount of Fee Enclosed \$500.00

Building Type OFFICE/Storage Lot Area 3.2 No. of Bedrooms N/A Design Flow GPD 300

Fill Section Only _____ Depth _____ Volume _____
PCHD NOTIFICATION IS REQUIRED WHEN FILL IS COMPLETED

Separate Sewerage System to consist of one 1,000 gallon septic tank and 188 LF of 2'
WIDE PRIMARY ABSORPTION TRENCHES

Other Requirements: NONE

To be constructed by TBD Address TBD

Water Supply: _____ Public Supply From N/A Address N/A

or: X Private Supply Drilled by TBD Address TBD

I represent that I am wholly and completely responsible for the design and location of the proposed system(s) and that the separate sewage treatment system described above will be constructed as shown on the approved amendment thereto and in accordance with the standards, rules and regulations of the Putnam County Department of Health, and that on completion thereof a "Certificate of Construction Compliance" satisfactory to the Director/Commissioner will be submitted to the Department, and a written guarantee will be furnished the owner, his successors, heirs or assigns by the builder, that said builder will place in good operating condition any part of said sewage treatment system during the period of two (2) years immediately following the date of the issuance of the approval of the Certificate of Construction Compliance of the original system or any repairs thereto.

Signed: [Signature] P.E. X R.A. _____ Date 7/24/15

Address John M. Watson DE, Insite Engineering, Sunning, & Landscape Architecture PC license # 77950
3 Garratt Pl, Carmel, NY 10512

APPROVED FOR CONSTRUCTION: This approval expires two years from the date issued unless construction of the sewage treatment system has been completed and inspected by the PCHD and is revocable for cause or may be amended or modified when considered necessary by the Director/Commissioner. Any revision or alteration of the approved plan requires a new permit. Approved for discharge of domestic sanitary sewage only.

By: [Signature] Title: Director Date: 8/17/15

**PUTNAM COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH SERVICES**

APPLICATION TO CONSTRUCT A WATER WELL

please print or type

PCHD Permit # 20-11-12R

Well Location	Street Address: <u>LUDINGTONVILLE RD.</u>	Town/Village: <u>KENT</u>	Tax Map # Map <u>12</u> Block <u>1</u> Lot(s) <u>88</u>
Well Owner:	Name: <u>HARTSMORN PROFESSIONAL PARK LLC</u>	Address: <u>843 FARMERS MILLS RD, CARMEL, NY</u>	Phone #: <u>845-225-5615</u>
Use of Well:	<input type="checkbox"/> Residential	<input type="checkbox"/> Public Supply	<input type="checkbox"/> Air/cond/heat pump
<u>1-Primary</u>	<input checked="" type="checkbox"/> Business	<input type="checkbox"/> Farm	<input type="checkbox"/> Test/monitoring
2-Secondary	<input type="checkbox"/> Industrial	<input type="checkbox"/> Institutional	<input type="checkbox"/> Standby
Amount of Use	Yield Sought <u>5</u> gpm	# People Served <u>20</u>	Est. of Daily usage <u>300</u> gal.
Reason for Drilling	<input type="checkbox"/> Replace Existing Supply	<input type="checkbox"/> Test/Observation	<input type="checkbox"/> Additional Supply
Detailed Reason for Drilling	<input checked="" type="checkbox"/> New Supply (new dwelling)		
Well Type	<input checked="" type="checkbox"/> Drilled	<input type="checkbox"/> Driven	<input type="checkbox"/> Gravel
Is well site subject to flooding?			Yes ___ No <input checked="" type="checkbox"/>
Is well located in a realty subdivision?			Yes ___ No <input checked="" type="checkbox"/>
Name of subdivision	<u>N/A</u>		Lot No. <u>N/A</u>
Water Well Contractor:	<u>TRD</u>	Address:	<u>TRD</u>
Is Public Water Supply available on site?			Yes ___ No <input checked="" type="checkbox"/>
Name of Public Water Supply:	<u>N/A</u>		Town/Village <u>N/A</u>
Distance to property from nearest water main:	<u>N/A</u>		
Proposed well location & sources of contamination to be provided on separate sheet/plan.			
Date:	<u>7/29/15</u>	Applicant Signature:	<u>[Signature]</u> John M. Watson, PE Ins. & Engr. Surveying & Landscape Architecture, PC 24 North St. P.O. Box 10517

PERMIT TO CONSTRUCT A WATER WELL

This permit to construct one water well as set forth above, is granted under provisions of Article 10 of the Putnam County Sanitary Code and Subpart 5-2 of Part 5 of the New York State Sanitary Code and provided that within thirty (30) days of the completion of water well construction, the applicant or their designated representative shall: 1) Pump the well until the water is clear. 2) Disinfect the well in accordance with the requirements of the Putnam County Health Department. 3) Submit a Well Completion Report on a form provided by the Putnam County Health Department. 4) The well driller shall abide by all conditions of the permit. 5) During all well drilling operations the well driller shall take appropriate action to assure that any and all water and waste products from such well drilling operations be contained on this property and in such a manner as not to degrade or otherwise contaminate surface or groundwater.

APPROVED FOR CONSTRUCTION: This approval expires two years from the date issued unless construction of the well has been completed and inspected by the PCHD and is revocable for cause or may be amended or modified when considered necessary by the Commissioner of Health. Any revision or alteration of the approved plan requires a new permit. Well to be constructed by a water well driller certified by Putnam County.

Date of Issue 8/19/15 Permit Issuing Official: [Signature]
Date of Expiration 8/19/17 Title: Director
Permit is Non-Transferable

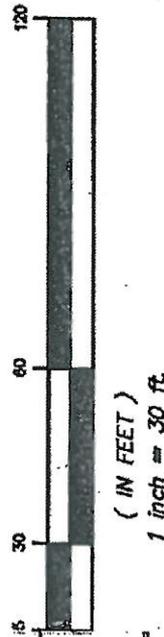
White copy - HD file; Yellow copy - Building Inspector; Pink copy - Owner; Orange copy - Well driller
Form WP-97
Rev. 3/06

- WS Proposed Water Service Line
- D3 Deep Test Hole
- P3 Percolation Test Hole
- CF Proposed Construction Fence
- SF Proposed Silt Fence

SOILS LEGEND

DESCRIPTION	HYDROLOGICAL GROUP
8% to 15% slopes, very stony B	
2% to 8% slopes, very stony C	

GRAPHIC SCALE



28. The contractor shall contact Dig Safely New York at 811 and any other required utility locators prior to the start of construction.

29. The NYSDEC Wetland boundaries shown hereon were flagged by Doug Gaugler on July 6, 2011. The Town of Kent Wetland boundaries shown hereon were flagged by Bruce Barber on November 9, 2011. The wetland boundaries were surveyed located by Insite Engineering, Surveying & Landscape Architecture, P.C. on November 14, 2011.

30. There shall be no 90° bends from the house to the septic tank, and from the septic tank to the distribution box / drop boxes.

31. Commercial septic tanks are to have an inlet baffle extending 1'-3" below the liquid level and an outlet baffle extending 1'-6" below the liquid level. If the precast concrete baffles do not extend to the required depths, the contractor is to install sanitary tees extending to the required depths.

32. The site was observed on July 7, 2015 at which time site conditions were comparable to those at the time of original approval.

REVISION FOR PCDOH RENEWAL

NO.	DATE	REVISION	BY
1	7/21/15	REVISION FOR PCDOH RENEWAL	DJU

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT:

**SSTS & WELL FOR
HARTSHORN PROFESSIONAL PARK**

LUDINGTONVILLE ROAD, TOWN OF KENT, PUTNAM COUNTY, NEW YORK

DRAWING:

CONSTRUCTION DRAWING



PROJECT NUMBER	11157.100	PROJECT MANAGER	E.M.S.
DATE	3-30-12	DRAWN BY	C.M.R.
SCALE	1" = 30'	CHECKED BY	DJ

DRAWING NO.	CD-1	SHEET	1 / 1
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County of Putnam
DEPARTMENT OF HIGHWAYS & FACILITIES
842 Fair Street
Carmel, N.Y. 10512
(914)-878-6331

Application No 12-08
Co. Road No CR 43
Date 5/7/12

APPLICATION FOR PERMIT TO DO WORK
ON AND WITHIN A COUNTY ROAD AREA
(To be Executed in Duplicate)

Do Not Write In This Space	
GRANTED	
COUNTY OF PUTNAM	
DEPARTMENT OF HIGHWAYS	
DATE	<u>5/7</u> 20 <u>12</u>
RECEIPT OF A BOND	
IS ACKNOWLEDGED <input checked="" type="checkbox"/>	
AMOUNT \$	<u>2500⁰⁰</u>

To the County of Putnam
Department of Highways & Facilities:

Application is hereby made for permission, under Section 136
Of the Highway Law, to enter upon, construct or open a road constructed
Or improved on this County Road System of Putnam County as follows:

1. Applicant HARTSHORN PROFESSIONAL PARK, LLC
2. Address 843 FARMERS MILLS ROAD, CARMEL, NY 10512 Phone No. 845-705-5596
3. Name of Road LUDINGTONVILLE ROAD, KENT Co. Rd. No. 43
(Name) (Town)
4. Location on Road 200' SOUTHEAST OF SIBBEL COURT ON SOUTH SIDE OF
LUDINGTONVILLE ROAD
5. Maximum size of opening 120' ± Depth 13' ± IN COUNTY R.O.W.
6. Date work to be started AUGUST 2012 Date to be completed NOVEMBER 2013
7. Is pavement to be disturbed YES if so, what type SHOULDER PAVEMENT
8. Purpose of Application PROPOSED 24'-WIDE PAVED DRNEWAY FOR PROPOSED
CONTRACTOR'S BUSINESS
9. State Owner for whom work is being performed:
N/A (Owner) (Address)

STATE OF NEW YORK
COUNTY OF Putnam

being duly sworn, deposes and says that he is
an officer, namely viz:

_____ of the Permittee herein named; that compensation has been secured
(one of the partners)

pursuant to the provisions of the Workmen's Compensation Law of the State of New York and the provisions of said law will be complied with during the life of
this permit and that no subcontractor will be permitted to do any work under this permit until he has fully and completely complied with all the terms and
provisions of the aforesaid law.

If permit is granted, I hereby agree to comply with all the terms, covenants and conditions hereinafter set forth which are attached to and form part of the permit
and to restore the road to its original condition, in accordance therewith.

Sworn to before me this
7th day of March 20 12

Alicia Hansen
Notary Public, County of Putnam

Kathy R. Platten V.P.R.S.
Applicant's Signature & Title

THE PERMIT WILL BE GRANTED SUBJECT TO THE FOLLOWING TERMS
COVENANTS AND CONDITIONS
(OVER)

Alicia Hansen
Notary Public, State of New York
Reg. # 01846086470
Qualified In Dutchess County
Commission Expires January 21, 20 15

SPECIAL CONDITIONS

Approval and consent to grant the permit is hereby given by the duly authorized municipal representatives.

Name and Title _____ Municipality _____ Date 20

(To be executed by Contractor if road is under construction)

I, the duly authorized representative of the Contractor, who is under contract for improvement of the road herein mentioned, do hereby approve the granting of the permit.

Name and Title _____ Firm or Corporation _____ Date 20

If this application is accompanied by deposit, state name and address to whom refund is to made.

Name

Address

APPROVED FOR ISSUANCE
PUTNAM COUNTY DEPARTMENT
OF HIGHWAYS & FACILITIES

DATED MAY 29 2012

By [Signature]
Supervisor of Planning & Design

DATED 5/29 2012

By [Signature]
Commissioner of Highways & Facilities

- (1) The term "Commissioner" shall mean the County Commissioner of Highways and Facilities of the County of Putnam or his authorized representative.
- (2) The term "Permittee" shall mean the party obtaining the permit or his or its duly authorized agents or representatives.
- (3) The permit shall not be assigned or transferred except upon the written consent of the Commissioner.
- (4) The work authorized by the permit shall be done to the complete satisfaction of the Commissioner. The Standard County Specifications shall be followed.
- (5) Written notice except in emergencies shall be given by said Permittee to the Commissioner at least forty-eight (48) hours in advance of the date when the work or construction is to commence.
- (6) The Permittee shall indemnify and save harmless to the County, local municipality and improvement district from all claims, liens, suits, loss or damage of every kind whatsoever, whether direct or indirect, which may arise by reason of the granting of this permit.
- (7) The Permittee agrees, in consideration of the granting of the permit, that any present or future damage, injury to or disturbance of the highway, its pavement, slopes or gutters, caused by placing of any structure pursuant to the terms of the permit, shall be immediately repaired by the Permittee at his or its own expense to the satisfaction of the Commissioner.
- (8) The Permittee agrees to pay all necessary expenses that may be incurred by the County in connection with the work to be done under the permit, which payment shall be made within ten (10) days after the sending of a statement of expenses as certified by the Commissioner and, if not paid by the Permittee, the said expenses shall be deducted from the bond as herein otherwise provided for. The Commissioner may appoint an inspector to supervise said work on behalf of the County, which inspector shall be paid by the Permittee. The amount per inspection shall be specified by the Commissioner.
- (9) The Commissioner reserves the right to revoke or cancel the permit at any time should the Permittee fail to comply with any of the terms, agreements, covenants and conditions thereof.
- (10) A fully executed copy of this permit must be in possession of the parties actually doing the work. It must be exhibited on demand to the Commissioner or his representative.
- (11) The permit does not grant permission for connections to water or sewer mains, etc. Such permits must be obtained from the local municipality or improvement district prior to and in addition to permit for street opening applied for herewith.
- (12) Vehicular traffic shall be maintained on any section of the road disturbed by the Permittee at all times during the term of this permit.

**THE WORK TO BE DONE AND PERFORMED PURSUANT TO THE PERMIT SHALL BE DONE
ACCORDING TO THE FOLLOWING SPECIFICATIONS AND CONDITIONS:**

- (1) All locations and time of performing the work shall be approved by the Commissioner.
- (2) The Permittee shall arrange its work so as to cause a minimum of inconvenience and delay to vehicular traffic. The Commissioner may require complete removal of obstructions to traffic on Saturdays, Sundays and holidays. The Permittee shall erect and maintain suitable barricades and guard protection around all of his or its work while in progress. Warning signs or flags and suitably lighted red and yellow lights shall be provided and flag or guard personnel shall be provided if necessary. Excavated material shall be stored in neat piles, so placed as to cause the least interference with the use of roadways or sidewalks. Where the free flow of traffic is interfered with, the Permittee shall designate competent persons to expedite traffic by means of lights or flags, both red and white, and lanterns to aid in directing traffic. The Permittee shall place warning flags, signs and lights in accordance with the New York State Manual of Uniform Traffic Control Devices, or as ordered by the Commissioner. Yellow lights shall be used at night to designate the clear lanes for traffic.

Tight sheathing at least two (2) inches in thickness shall be placed in all trenches having a depth in excess of four (4) feet and within three (3) feet of any pavement or other highway structure which is proposed to remain in place except where excavation is in rock. Sheathing shall be securely fastened in place with walers and braces during all operations and shall be driven to a depth of one (1) foot below the lowest part of the structure proposed to be installed as the excavation progresses. In all such excavations having a depth in excess of six (6) feet, such sheathing shall be left in place with a cutoff line eighteen (18) inches below ground surface. In the trenches having a depth of more than three (3) feet and less than six (6) feet the sheathing shall be left in place if ordered by the Commissioner of Highways. Sheathing may be omitted when permitted by the Commissioner if the edge of the proposed trench is offset from the nearest edge of pavement or other structure by a distance at least equal to the vertical depth of the trench as measured from the highest point of the adjacent pavement or structure.
- (4) Backfilling around completed structures shall be made of selected material, free from loose stones, as soon as the structure has attained sufficient strength to preclude injury and shall be made in successive horizontal layers not exceeding six (6) inches in depth. Each layer shall be thoroughly compacted by tamping to the satisfaction of the Commissioner. For each man shoveling the backfill there shall be at least one man tamping. No frozen material shall be used in the backfill. Special care shall be taken to thoroughly compact the portion directly under the haunches, around the side and for a depth of one (1) foot over pipes or ducts. No rock shall be placed in the backfill within twelve (12) inches of a pipe or duct. No backfilling of trenches by scrapers or other machinery will be allowed except that on longitudinal trenches outside of the pavement limits. The use of power backfillers mounted on pneumatic tires may be used if provisions are made for adequate compacting of filled material. The work shall be so carried on that not over 500 linear feet of trench shall remain open at a time. Excavations under the pavement of a travel lane(s) of the highway shall be backfilled with control density backfill in accordance with the memorandum "Open Trench Road Crossings", which shall become part of the permit.
- (5) All surplus excavated material and debris shall be cleaned up and removed from the site of the work upon the completion of the work by the Permittee leaving the site of the work in a neat and orderly condition.
- (6) Where topsoil, seeded areas or sod are disturbed in the excavating the Permittee shall restore the ground surfaces to the original condition.
- (7) Manhole covers, frames and other structures placed within the roadway limits shall be of sufficient weight and strength and of a suitable type and stability approved by the Commissioner and shall be set flush with the surface of the pavement.

- (8) The Permittee shall repair and maintain at his or its expense any present or future disturbance of the roadway pavement which may have been caused by work done pursuant to the terms of the of the permit herein, said maintenance to cover a period of time satisfactory to the Commissioner after the completion of work.
- (9) All small pipes or conduits crossing roadway pavements shall, wherever possible, be driven beneath the pavement without disturbances to the surface. Such pipes or conduits shall be enclosed in sleeves or larger pipes so that required replacements may be made in the future without disturbance to the pavement. For the purpose of driving such pipes or conduits, no opening of trench shall be made closer than two (2) feet to the edge of pavement.

(10) RESTORATION OF PAVEMENT

- (a) Asphaltic (flexible) Paved Shoulders— Permanent restoration of the finished pavement shall not be made until complete settlement of the trench backfill shall have taken place, as directed by the Commissioner. Immediately after backfilling the trench, an acceptable temporary hot mix asphalt concrete or other acceptable flexible pavement shall be placed which shall be maintained even with the shoulder surface until permanent restoration of the pavement is ordered by and under the supervision of the Commissioner.
- (b) Asphaltic (flexible) Pavement in Travel Lanes- Repair shall be executed as indicated in the memorandum entitled "Open Trench Road Crossings", which shall become part of the permit.
- (c) Concrete (rigid) Pavement with Asphaltic Overlay in Travel Lanes- Repair shall be executed as indicated in the memorandum entitled "Open Trench Road Crossings", except that the concrete pavement shall be repaired to its original thickness with concrete and reinforcement as ordered and approved by the Commissioner.
- (11) Permittee shall replace or restore satisfactorily to the Commissioner of Highways any pavement or other structures which may have been damaged during the progress of the work for which the permit was issued even though such pavement or structure was not proposed to be disturbed at the time of the granting of the permit.

(12) STORING BUILDING MATERIALS AND EQUIPMENT ON COUNTY ROADS.

If in the course of building operations on adjacent property it becomes necessary to store building materials or equipment upon any County road or portion thereof, an application for a permit therefore must be made, subject to the following terms and conditions:

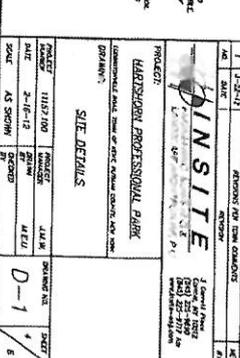
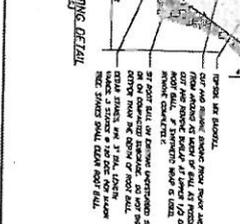
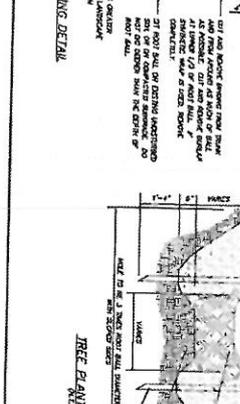
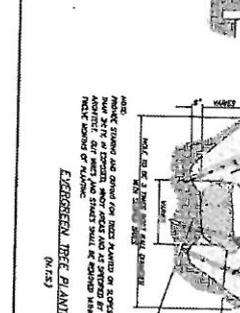
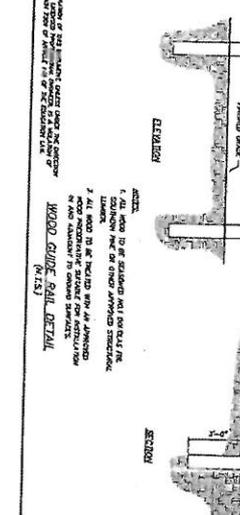
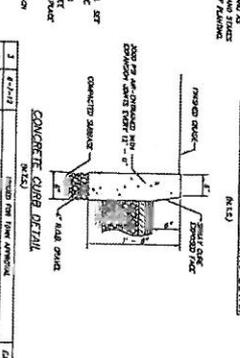
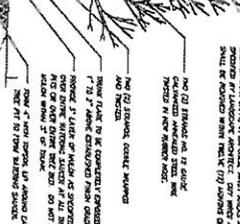
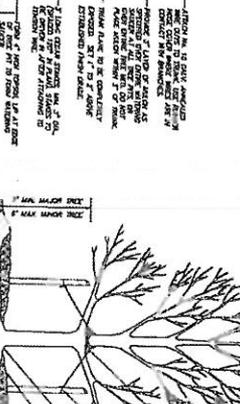
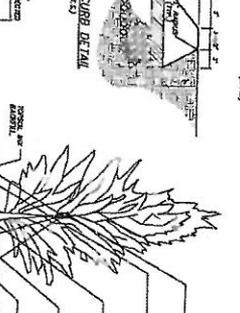
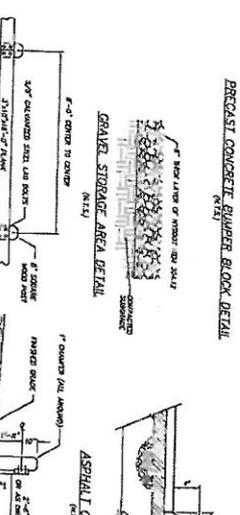
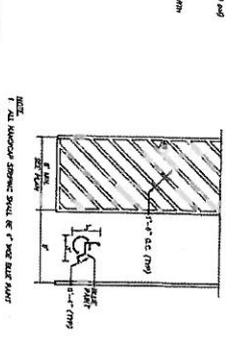
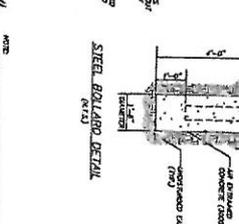
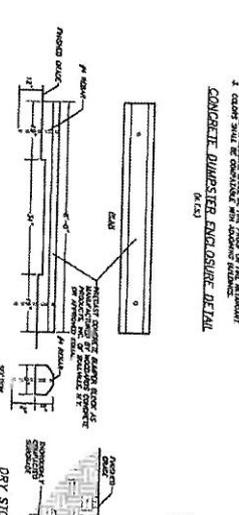
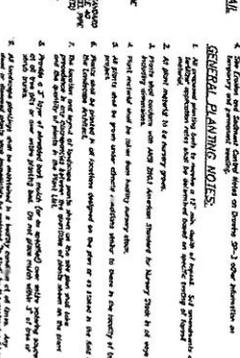
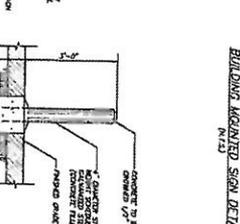
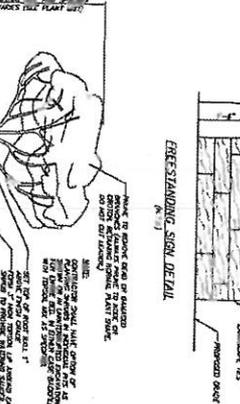
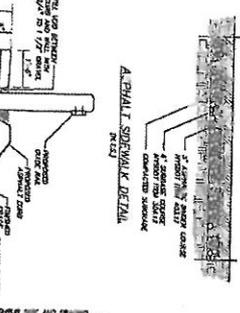
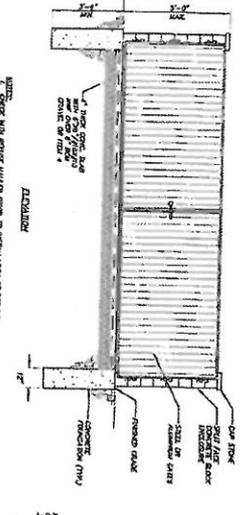
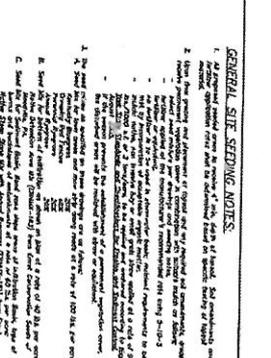
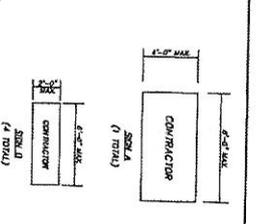
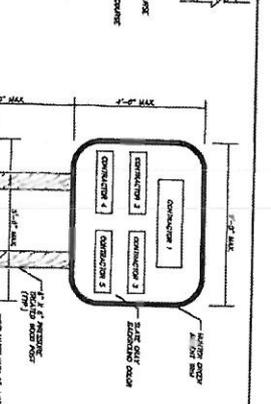
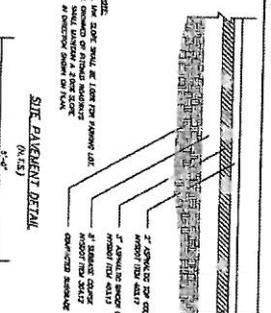
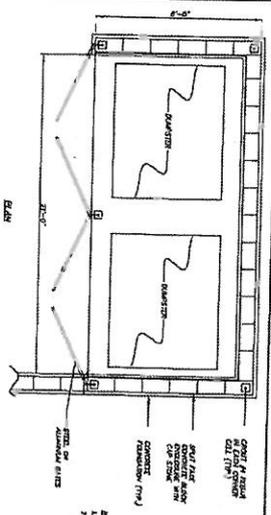
- (a) In no case shall the area of the pavement used for storage exceed in width twenty per cent of the total width of the pavement or in length one hundred (100) feet. Such materials or equipment as may be stored shall be neatly piled or placed, protected with adequate barrioles and illuminated, except during daylight hours, with red or yellow flashing lights, spaced at intervals of not more than ten (10) feet. Appropriate warning signs and lights shall be kept constantly in position three hundred (300) feet distant from the space occupied as a warning to approaching vehicles.
- (b) No building material or equipment shall be placed upon the pavement closer than ten (10) feet to any hydrant nor upon any manhole, valve or catch basins, nor as to interfere in any way with proper drainage upon the highway.

(13) OPERATION OF HEAVY CONSTRUCTION EQUIPMENT ON COUNTY ROADS.

- (a) No construction equipment, excepting trucks shall operate on or be hauled over any County road unless same shall be equipped with pneumatic tires or mounted upon a pneumatic tired trailer unless a permit therefore shall have been first obtained from the Commissioner of Highways. Said permit shall not be construed as a waiver of the provisions of the Vehicle and Traffic Law or of any local ordinance relative thereto. Said permit shall provide among other things that:
- (b) Each such vehicle when operated on a County road shall be operated on planks, mats or other suitable cushion, acceptable to and approved by the Commissioner.
- (c) A competent flagperson shall at times be placed at least two hundred (200) feet distant from the operating equipment to warn approaching vehicles.
- (d) Adequate barricades and warning signs shall be erected to protect the traveling public.
- (e) Any damage resulting from the operation of the equipment shall be repaired by the Permittee to the satisfaction of the Commissioner of Highways.
- (14) SHADE TREES: No person, firm or corporation shall plant, remove, trim, or otherwise alter any shade tree or planting on a County road outside of cities or villages without first obtaining approval thereof in writing from the Commissioner of Highways.
- (15) EXCEPTIONS: Nothing in these rules and regulations shall be construed to restrict or prevent the construction, maintenance or repair of any sidewalk by a municipality under laws and ordinances applicable thereto except in those operations of construction, maintenance or repair where the use of any portion of a of the pavement of a County road is affected or restricted or to restrict or prevent the adoption and enforcement of local municipal traffic control ordinances, rules and regulations not inconsistent with the provisions of Chapter 605 of the laws of 1941.

- (16) The Permittee hereby deposits with the Commissioner a bond of \$ _____ as security for the faithful performance of all terms, covenants and conditions on his part to be done and performed, which said bond shall be retained by the Commissioner until a time specified by the Commissioner after the date of final completion and acceptance by the Commissioner of the work to be done and performed pursuant to the terms of this permit. Upon the failure or default by the Permittee of any terms, covenants, and conditions on his part to be done and performed said deposit may be used by the County of Putnam for any expense incurred by the County of Putnam by reason of such failure or default on the part of the Permittee. The Permittee agrees that such expenses as certified by the Commissioner shall be binding upon said Permittee.
- (17) The Commissioner by issuing this permit assumes no liability on his part or on the part of the County of Putnam and the Permittee shall be solely liable for all Acts done or to be done pursuant to same.
- (18) In addition to the above conditions, the Permittee shall conform to the following special requirements for the work permitted:

(OVER)



GENERAL SITE SEEING NOTES:

1. All proposed work shall be shown on the site plan. All construction and materials shall be shown on the site plan.
2. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.
3. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.
4. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.
5. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.
6. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.
7. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.
8. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.
9. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.
10. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.

GENERAL PLANNING NOTES:

1. All proposed work shall be shown on the site plan.
2. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.
3. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.
4. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.
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7. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.
8. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.
9. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.
10. All work shall be done in accordance with the specifications and standards of the City of Los Angeles.

PAINTED HANDICAP PARKING DETAIL:

1. ALL HANDICAP PARKING SHALL BE 8' X 12' MINIMUM.

2. ALL HANDICAP PARKING SHALL BE PAINTED WITH THE FOLLOWING SPECIFICATIONS:

- A. PAINTED SURFACE SHALL BE 1" THICK CONCRETE.
- B. PAINTED SURFACE SHALL BE PAINTED WITH A DURABLE PAINT.
- C. PAINTED SURFACE SHALL BE PAINTED WITH A DURABLE PAINT.
- D. PAINTED SURFACE SHALL BE PAINTED WITH A DURABLE PAINT.

CONCRETE CURB DETAIL:

1. ALL CONCRETE CURBS SHALL BE 8" HIGH AND 12" WIDE.

2. ALL CONCRETE CURBS SHALL BE PAINTED WITH THE FOLLOWING SPECIFICATIONS:

- A. CONCRETE CURBS SHALL BE PAINTED WITH A DURABLE PAINT.
- B. CONCRETE CURBS SHALL BE PAINTED WITH A DURABLE PAINT.
- C. CONCRETE CURBS SHALL BE PAINTED WITH A DURABLE PAINT.
- D. CONCRETE CURBS SHALL BE PAINTED WITH A DURABLE PAINT.

SITE DETAILS

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY	11/17/10	JLK
2	REVISED	11/17/10	JLK
3	REVISED	11/17/10	JLK
4	REVISED	11/17/10	JLK
5	REVISED	11/17/10	JLK
6	REVISED	11/17/10	JLK
7	REVISED	11/17/10	JLK
8	REVISED	11/17/10	JLK
9	REVISED	11/17/10	JLK
10	REVISED	11/17/10	JLK

PROJECT: HARBOR PROFESSIONAL PARK

CLIENT: AS SHOWN

SCALE: AS SHOWN

DATE: 11/17/10

BY: JLK

CHECKED: JLK

APPROVED: JLK

PROJECT NO.: 0-1

SHEET NO.: 6

**Town of Kent Planning Board
Special Use Permit and Site Plan Approval
Freshwater Wetland Permit Approval
Steep Slope and Erosion Control Permit Approval**

Matter of Hartshorn Professional Park

Whereas, the Town of Kent Planning Board has received an application from Hartshorn Professional Park, LLC (hereinafter "Hartshorn") for re-approval of Special Use Permit, Site Plan, Freshwater Wetland Permit, and Steep Slope and Erosion Control Permit approvals to allow the development of contractor's yard with associated storage and a business office, including a ±9,600 square foot building on a ±3.17 acre site located on Luddingtonville Road on tax parcel number 12.1-88; and

Whereas, the Planning Board granted conditional approvals for the project on April 12, 2012, and although the plans received Chairman's signature and site work was commenced, building permits were never issued and work ceased on the project due to financial reasons; and

Whereas, the current application is the same as that which was approved by the Planning Board on April 12, 2012 with the exception of plan amendments and additional information added to the proposed plan set as a result of other agency review requirements since the time of the original approval; and

Whereas, the lapse in the original approvals is related to financial hardship rather than a lack of diligence on the part of the applicant; and

Whereas, the Planning Board remains the established Lead Agency for the review of this action; and

Whereas, the Planning Board has examined the current application and current site conditions in light of the passage of time since original approvals and has determined that the environmental issues examined by the Board in its April 12, 2012 Negative Declaration remain relevant and unchanged and that re-approval of the project raises no new or additional environmental issues; and

Whereas, pursuant to General Municipal Law §239-m the re-application was referred to the Putnam County Department of Planning for review which recommended approval of the project without comment or modification; and

Whereas, the Planning Board has determined that a waiver of a public hearing on the application for re-approval is appropriate; and

Whereas, after review of the application and consideration of the criteria set forth in §77-59 of the Town Code, the Planning Board hereby determines that the findings of the Board in support of granting Special Use Permit approval for the project as set forth in the Board's resolution of April 12, 2012 remain valid and unchanged; and

Whereas, after review of the application and consideration of the criteria set forth in §77-60 and §77-61 of the Town Code, the Planning Board hereby determines finds that the findings of the Board in support of granting Site Plan approval for the project as set forth in the Board's resolution of April 12, 2012 remain valid and unchanged; and

Whereas, after review of the application and consideration of the criteria set forth in §39A-8(C) of the Town Code the Planning Board hereby determines that the findings of the Board in support of granting Freshwater Wetland Permit approval for the project as set forth in the Board's resolution of April 12, 2012 remain valid and unchanged; and

Whereas, after review of the application and consideration of the criteria set forth in Chapter 66 of the Town Code the Planning Board hereby determines that the findings of the Board in support of granting Steep Slope and Erosion Control Permit approval for the project as set forth in the Board's resolution of April 12, 2012 remain valid and unchanged;

Now Therefore Be It Resolved, the Planning Board hereby waives a public hearing on the application for re-approval of the site plan; and

Be It Resolved, pursuant to §77-59 of the Town Code the Planning Board grants Special Use Permit Approval for the Hartshorn Professional Park project as described herein; and

Be It Further Resolved, pursuant to §77-60 and §77-61 of the Town Code the Planning Board grants Site Plan Approval for the Hartshorn Professional Park project as described herein; and

Be It Further Resolved, pursuant to §39A-7(D)(1) of the Town Code the Planning Board grants Freshwater Wetland Permit approval for the regulated activities as described herein; and

Be It Further Resolved, pursuant to Chapter 66 of the Town Code the Planning Board grants Steep Slope and Erosion Control Permit approval subject to final plan review and approval by the Planning Board's Professional Engineer; and

Be It Further Resolved, the Special Use Permit, the Site Plan, the Steep Slope and Erosion Control Permit, and the Freshwater Wetland Permit approvals are expressly conditioned on development and maintenance of the Hartshorn Professional Park in compliance with the plans and details as depicted on a site plan map set entitled "Hartshorn Professional Park" prepared by Insite Engineering, Surveying & Landscape Architecture, P.C. dated February 16, 2012 and bearing a latest revision date of August 7, 2012 consisting of the following drawings:

1. *SP-1, "Layout and Landscape Plan".*
2. *SP-2, "Grading and Utilities Plan".*
3. *SP-3, "Erosion and Sedimentation Control Plan".*
4. *D-1, "Site Details".*
5. *D-2, "Site Details".*
6. *D-3, "Site Details".*

Be It Further Resolved, that this Site Plan Approval is expressly conditioned on the completion and/or adherence to following:

- 1) *Address to the satisfaction of the Planning Board any comments of the Planning Board Professional Engineer.*
- 2) *Address to the satisfaction of the Planning Board any comments of the Planning Board Environmental Consultant.*
- 3) *Prior to the obtaining Chairman's signature on the project plans the following additional approvals and permits shall be obtained and any conditions following, or otherwise stated in this resolution, shall be complied with:*
 - a) *Planning Board Professional Engineer approval of the plans to implement the Steep Slope and Erosion Control Permit.*

- b) Planning Board Professional Engineer, Attorney, and Environmental Consultant approval of any agreements required under Chapter 66 of the Town Code.*
 - c) Approval of the Town Highway Superintendent of the access plan for the site.*
 - d) Any required approvals from the NYC Department of Environmental Protection.*
 - e) Any required approvals from the Putnam County Department of Health.*
 - f) Any required U.S. Army Corps of Engineers (ACOE) permit(s).*
- 4) With regard to the Freshwater Wetland Permit the applicant is to provide written documentation (certification) to the Town of Kent Planning Board that all planted material has been installed in accordance with the approved plans. The applicant is to perform annual inspections for five years following the date of completion of all work. All invasive plant species located within the limits of disturbance observed at the time of annual inspection are to be removed by hand and disposed of off- site and all dead or diseased planted material is to be replaced. An annual report which documents the conditions of the project at the time of inspection and all work conducted such as invasive plant removal and diseased or dead plants replaced must be submitted to the Planning Board no later than 30 days following the date of inspection. A security or other collateral acceptable to the Planning Board and in form acceptable to the Planning Board Attorney shall be submitted to the Planning Board Clerk. Said security shall be in the amount of \$6,000.00. This bond shall be released at the end of the five year period as measured by the date of certification submitted by the applicant and upon written verification by the Town Wetland Inspector that at least 85% of the plants as shown on the approved plans are viable. If it is determined by the Town Wetland Inspector at the end of the five year period that less than 85% of the plants and trees as shown on the as-built map are not viable, the Town may use the security to correct any noted deficiencies.*
- 5) Prior to commencement of site work all required erosion control measures shall be implemented as shown on the approved plans. The erosion control may be changed or modified by order of the Planning Board Engineer or the Town Building Inspector based on field conditions.*

- 6) *Pursuant to Chapter 48 of the Town of Kent Code construction activity within the Town of Kent shall be limited to Monday through Friday from 7:00 AM to 9:00 PM, and Saturday and Sunday from 8:00 AM to 9:00 PM.*
- 7) *At the completion of construction, and prior to issuance of a Certificate of Occupancy, the applicant shall provide a certification prepared and sealed by a New York State Licensed Professional Engineer to the Town Building Inspector and the Planning Board that all site work has been carried out and completed in substantial compliance with the approved Site Plan for the project, and shall also provide to the Planning Board and the Town Building Inspector an "as built" survey of the completed development prepared and sealed by a New York State Licensed Land Surveyor.*
- 8) *Payment to the Town of Kent the following fees:*
 - a) *Any unpaid or outstanding application fees.*
 - b) *Any review fees accrued by the Planning Board during the review of the application.*
 - c) *An inspection fee, in an amount to be established by the Planning Board, to cover the cost of construction and post-construction inspections by the Board's Professional Engineer, Wetland Consultant, and Planning Consultant.*
- 9) *It is the responsibility of the applicant/project sponsor to submit to the Planning Board proof that each of the conditions of this Approval have been completed and that the response to comments have been completed to the satisfaction of the Planning Board's Professional Engineer, the Planning Board's Environmental Consultant, and the Planning Boards Consulting Planner. The signature of the Planning Board Chairman shall be withheld pending receipt of a written memorandum from the Planning Board's Consulting Planner verifying that each of the conditions of this Approval has been completed. The proposed final drawings shall not be accepted by the Planning Board without submission of proof of completion.*
- 10) *Except for "field changes" as may be approved by the Planning Board's Professional Engineer or the Environmental Consultant, the project shall be constructed in accordance with the project plans as set forth above. Any changes to the Site Plan and any changes to the Freshwater Wetland Permit shall be subject to the prior approval of the Planning Board before any such changes are implemented.*

11) This site plan approval shall expire 12 months from the date of approval unless otherwise extended by the Planning Board upon the express written request of the applicant prior to the date of expiration.

Motion: Mr. Tolmach _____

Second: Mr. Brunner _____

Michael McDermott, Chairman	<u>Aye</u> _____
Janis Bolbrock, Vice Chair	<u>Aye</u> _____
George Brunner	<u>Aye</u> _____
Dennis Lowes	<u>Absent</u> _____
Phil Tolmach	<u>Aye</u> _____
Charles Sisto	<u>Aye</u> _____
Glenna Wright	<u>Aye</u> _____

Date: August 13, 2015 _____

I certify that the above resolution was adopted by the Town of Kent Planning Board at a meeting of the Board on the date set forth above.



Vera Patterson, Clerk
Town of Kent Planning Board

Vera Patterson

From: Vera Patterson [planning@townofkentny.gov]
Sent: Friday, September 11, 2015 4:18 PM
To: 'Bruce Barber'; WRohde@rsaengrs.com; Bill Walters ; 'Neil Wilson'; Charles Sisto; Dennis Lowes; George Brunner; Glenna Wright; Janis Bolbrock; Michael McDermott; Phillip Tolmach; Vera Patterson
Subject: FW: Hartshorn Professional Park Site Plan
Attachments: 2015-09-11 submission cover letter.pdf; Full Set.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

FYI for Thursday's meeting.

From: Dawn McKenzie [mailto:DMcKenzie@insite-eng.com]
Sent: Friday, September 11, 2015 2:43 PM
To: planning@townofkentny.gov
Subject: Hartshorn Professional Park Site Plan

Vera,
Please find attached pdfs of today's site plan submission.
Let us know if you need anything else.

Dawn

Dawn Lewis McKenzie, RLA
Project Landscape Architect

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, New York 10512
(845) 225-9690 Phone
(845) 225-9717 Fax
www.insite-eng.com



This email is intended for the sole use of the addressee(s). Any attached file(s) have been issued for convenience only and at the specific request of the client or their agent. It is specifically understood that any attached file(s) are not certified by Insite Engineering, Surveying, and Landscape Architecture, P.C. (Insite). No use or reproduction of the information provided is permitted without the written consent of Insite.



September 11, 2015

Town of Kent Planning Board
Town Hall, 770 Route 52
Carmel, New York 10512

RE: Hartshorn Professional Park Site Plan
NYS Route 311
Town of Kent, New York
Tax Map No. 12.-1-88

Dear Chairman McDermott and Members of the Board:

Enclosed please find six (6) copies of the following documents for the above-referenced project:

- Site Plans (6 sheets) last revised April 30, 2012.
- Putnam County Department of Highways & Facilities Permit, dated May 29, 2012 (2 copies).
- Renewal Approval Letter from Putnam County Department of Health, dated August 17, 2015.

On August 13, 2015, the Board reaffirmed the previous SEQR negative declaration and re-granted final special use permit, site plan, freshwater wetland permit, steep-slope and erosion control permit approval.

In response to comments at the Planning Board meeting on August 13, 2015, we offer the following responses:

1. A consultant site visit was conducted on August 21, 2015.
2. The lean-to drains away from the parking lot and the storm basin. It was agreed at a site visit with Town of Kent Planning Board staff that a 2' wide x 2' deep infiltration trench will be installed under the dripline of the lean-to. The infiltration trench will be shown on the As-Built Drawing.

In response to the conditions outlined in the Special Use Permit, Site Plan, Freshwater Wetland Permit, Steep Slope and Erosion Control Permit Approval Resolution dated August 13, 2015, we offer the following:

1. It is our understanding that all outstanding comments of the Planning Board Professional Engineer have been satisfied.
2. It is our understanding that all outstanding comments of the Planning Board Environmental Consultant have been satisfied.
3. Prior to obtaining the Chairman's signature on the project plans, the following additional approvals and permits shall be obtained and any conditions following, or otherwise stated in this resolution, shall be complied with:
 - a. The site plans remain unchanged from the previous approval. The Steep Slope and Erosion Control Permit was issued under the previous approval.
 - b. The agreements required under Chapter 66 of the Town Code were approved and executed under the previous approval and are still valid.
 - c. The access to the site is from a county road. The approval from the Putnam County Department of Highways & Facilities for the proposed access to the site was provided under the previous approval, is still valid. A copy of the approval has been included as part of this submission.

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

- d. There are no required approvals from the New York City Department of Environmental Protection for this project.
- e. The approval from the Putnam County Department of Health for the proposed well and subsurface sewage treatment system is included as part of this submission.
- f. There are no required approvals from the United States Army Corps of Engineers for this project.
4. With regard to the Freshwater Wetland Permit, it is understood that the applicant shall comply with Bruce Barber's conditions of approval regarding bonding and inspections.
5. The site plans are unchanged from the previous approval. A note is included on the plans as General Note #14 regarding the implementation of all required erosion controls prior to commencement of the site work.
6. The site plans are unchanged from the previous approval. A note is included on the plans as General Note #18 regarding the requirement for limiting hours of construction.
7. The site plans are unchanged from the previous approval. A note is included on the plans as General Note #16 regarding the requirement for an "as-built" survey.
8. The applicant is aware that payment is required to the Town of Kent for the following fees:
 - a. Any unpaid or outstanding application fees.
 - b. Any review fees accrued by the Planning Board during the review of the application.
 - c. Any inspection fee, in the amount established by the Planning Board.
9. A note is included on the plans as General Note #15 regarding the requirement for submitting proof that each of the conditions of this Approval have been completed to the satisfaction of the Planning Board's consultants.
10. The applicant is aware that the project shall be constructed in accordance with the project plans.
11. The applicant understands that the site plan approval expires 12 months from the date of approval unless otherwise extended by the Planning Board.

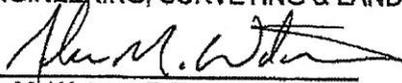
We trust that you will find this information in order. The drawings are being submitted for signature by the the Planning Board Chairman.

Should you have any questions / comments or require additional copies of the enclosed information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


John M. Watson, P.E.
Principal Engineer

JMW/dim

Enclosures

cc: Kathy Hartshorn, with enclosures

Insite File No. 11157.100

ALLEN BEALS, M.D., J.D.
Commissioner of Health



MARYELLEN ODELL
County Executive

ROBERT MORRIS, P.E., MPH
Director of Environmental Health

DEPARTMENT OF HEALTH

1 Geneva Road, Brewster, New York 10509

Phone # (845) 808-1390 Fax # (845) 278-7921

August 17, 2015

Hartshorn Professional Park, LLC
843 Farmers Mills Road
Carmel, NY 10512

Re: Renewal Approval of Plans for a Wastewater Treatment
System for Hartshorn Professional Park
@ Ludingtonville Road
(T) Kent, TM 12-1-88

To whom it may concern:

This office has received the engineering report, plans and application for the wastewater treatment system for the above-noted project.

Upon review, it has been determined that the submission meets the applicable criteria of the NYS Department of Environmental Conservation and the Putnam County Health Department for the design of sewage treatment systems. This approval of plans is issued under provisions of Article 3 of the Putnam County Sanitary Code, Article 17 of the Environmental Conservation Law and 6 NYCRR 652, and is issued for plans prepared by Insite Engineering bearing the latest revision date of July 21, 2015.

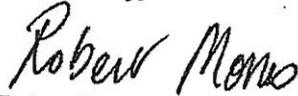
This letter shall serve as record of approval and by initiating construction of the project covered by this approval of plans, the applicant accepts and agrees to abide by and conform to the following:

1. THAT the approval letter shall be maintained on file by the applicant.
2. THAT the approval is revocable or subject to modification or change pursuant to Article 3 of the Putnam County Sanitary Code and Article 17 of the Environmental Conservation Law.
3. THAT the facilities shall be fully constructed and completed in compliance with the engineering report, plans, and specifications as approved.
4. THAT the construction of the facilities shall be under the supervision of a person or firm licensed and registered to practice professional engineering in the State of New York under the Education Law of the State of New York, which supervision is the responsibility of the applicant.
5. THAT the design professional supervising such construction shall certify to the Department in writing, that the construction of the facilities has been under their supervision and that the work has been fully completed in accordance with the approved engineering reports, plans and approval of plans.

6. THAT the design professional shall submit an application for construction compliance consisting of "as-built" plan and guarantee after construction is completed together with certification by the engineer that the sewage treatment system has been completed in conformance with the approved plans.
7. THAT the occupancy of the building and operation of the sewage treatment system shall not be permitted until the construction compliance and authorization to operate are approved by this Department.
8. THAT the approval is valid for two (2) years and expires on August 17, 2017.
9. THAT the approval of this Department shall be secured for each change of usage to insure that the maximum flow of 300 gallons per day is not exceeded.
10. THAT a master water meter be installed and a record of daily readings be submitted to this Department monthly.
11. THAT the Health Department be notified when the construction starts on the system and also notified prior to backfill of the system.
12. THAT the wastewater facilities are to receive sanitary wastes only. The Putnam County Health Department shall be promptly notified in the event that any wastes other than strictly domestic sanitary wastes are produced at this facility.

This Department is forwarding three (3) copies of the approved construction permit and two (2) copies of the approved construction plans to your design professional. This approval of plans is issued for the construction of a 1,000 gallon septic tank and 188 LF of absorption trenches.

Respectfully,



Robert Morris, P.E.
Director of Environmental Health

MIJ:cw

cc: J. Watson, P.E.
D. Shedlo, NYCDEP
B. Walters, B.I. (T) Kent
M. Budzinski, P.E.

DEI

7/24/15

PUTNAM COUNTY DEPARTMENT OF HEALTH DIVISION OF ENVIRONMENTAL HEALTH SERVICES

CONSTRUCTION PERMIT FOR SEWAGE TREATMENT SYSTEM

PERMIT # CO-01-12K CO-0112-K

Located at LUDINGTONVILLE ROAD Town or Village KENT

Subdivision name N/A Subd. Lot # N/A Tax Map 12 Block 1 Lot 88

Date Subdivision Approved N/A Renewal Revision _____

Owner/Applicant Name HARTSHORN PROFESSIONAL PARK LLC Date of Previous Approval 6/20/12

Mailing Address 843 FARMERS MILLS RD, CARMEL, NY Zip 10512

Amount of Fee Enclosed \$5000.00

Building Type OFFICE/Storage Lot Area 3.2 No. of Bedrooms N/A Design Flow GPD 300

Fill Section Only _____ Depth _____ Volume _____
PCHD NOTIFICATION IS REQUIRED WHEN FILL IS COMPLETED

Separate Sewerage System to consist of one 1,000 gallon septic tank and 188 LF of 2'
WIDE PRIMARY ABSORPTION TRENCHES

Other Requirements: NONE

To be constructed by TBD Address TBD

Water Supply: _____ Public Supply From N/A Address N/A

or: Private Supply Drilled by TBD Address TBD

I represent that I am wholly and completely responsible for the design and location of the proposed system(s) and that the separate sewage treatment system described above will be constructed as shown on the approved amendment thereto and in accordance with the standards, rules and regulations of the Putnam County Department of Health, and that on completion thereof a "Certificate of Construction Compliance" satisfactory to the Director/Commissioner will be submitted to the Department, and a written guarantee will be furnished the owner, his successors, heirs or assigns by the builder, that said builder will place in good operating condition any part of said sewage treatment system during the period of two (2) years immediately following the date of the issuance of the approval of the Certificate of Construction Compliance of the original system or any repairs thereto.

Signed: [Signature] P.E. R.A. _____ Date 7/24/15

Address JOHN M. WATSON DE
INSITE ENGINEERING, SURVEYING, & LANDSCAPE ARCHITECTURE PC License # 77950
3 Garrett Pl, Carmel, NY 10512

APPROVED FOR CONSTRUCTION: This approval expires two years from the date issued unless construction of the sewage treatment system has been completed and inspected by the PCHD and is revocable for cause or may be amended or modified when considered necessary by the Director/Commissioner. Any revision or alteration of the approved plan requires a new permit. Approved for discharge of domestic sanitary sewage only.

By: [Signature] Title: Director Date: 8/17/15

White copy - HD File; Yellow copy - Building Inspector; Pink copy - Owner; Orange copy - Design Professional

**PUTNAM COUNTY DEPARTMENT OF HEALTH
DIVISION OF ENVIRONMENTAL HEALTH SERVICES**

APPLICATION TO CONSTRUCT A WATER WELL

please print or type

PCHD Permit # 50-172-178

Well Location	Street Address: <u>LUDINGTONVILLE RD</u>	Town/Village: <u>KENT</u>	Tax Map #
Well Owner:	Name: <u>HARTSMORN</u>	Address: <u>PROFESSIONAL PARK LIC 843 FARMERS MILLS RD, CARMEL, NY</u>	Phone #: <u>845-225-5615</u>
Use of Well:	<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Public Supply	<input type="checkbox"/> Air/cond/heat pump
<u>1-Primary</u>	<input type="checkbox"/> Business	<input type="checkbox"/> Farm	<input type="checkbox"/> Irrigation
<u>2-Secondary</u>	<input type="checkbox"/> Industrial	<input type="checkbox"/> Institutional	<input type="checkbox"/> Test/monitoring
Amount of Use	Yield Sought <u>5</u> gpm	# People Served <u>20</u>	Est. of Daily usage <u>300</u> gal.
Reason for Drilling	<input checked="" type="checkbox"/> Replace Existing Supply	<input type="checkbox"/> Test/Observation	<input type="checkbox"/> Additional Supply
Detailed Reason for Drilling	<input checked="" type="checkbox"/> New Supply (new dwelling) <input type="checkbox"/> Deepen Existing Well		
Well Type	<input checked="" type="checkbox"/> Drilled	<input type="checkbox"/> Driven	<input type="checkbox"/> Gravel
Is well site subject to flooding?.....			Yes ___ No <input checked="" type="checkbox"/>
Is well located in a realty subdivision?.....			Yes ___ No <input checked="" type="checkbox"/>
Name of subdivision	<u>N/A</u>		Lot No. <u>N/A</u>
Water Well Contractor:	<u>TRD</u>	Address:	<u>TRD</u>
Is Public Water Supply available on site?.....			Yes ___ No <input checked="" type="checkbox"/>
Name of Public Water Supply:	<u>N/A</u>	Town/Village	<u>N/A</u>
Distance to property from nearest water main:	<u>N/A</u>		
Proposed well location & sources of contamination to be provided on separate sheet/plan.			
Date: <u>7/24/15</u>	Applicant Signature: <u>[Signature]</u>		

John M. Watson, PE
Inspection Engineering, Supervising Landscape Architect, P.E.
200 West 1st Street, P.O. Box 10517
Riverside, NJ 08075

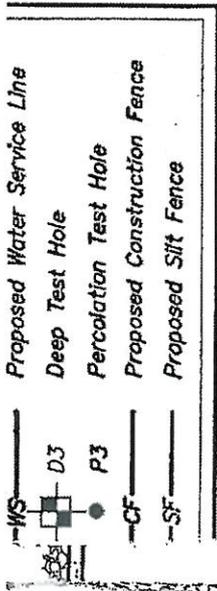
PERMIT TO CONSTRUCT A WATER WELL

This permit to construct one water well as set forth above, is granted under provisions of Article 10 of the Putnam County Sanitary Code and Subpart 5-2 of Part 5 of the New York State Sanitary Code and provided that within thirty (30) days of the completion of water well construction, the applicant or their designated representative shall: 1) Pump the well until the water is clear. 2) Disinfect the well in accordance with the requirements of the Putnam County Health Department. 3) Submit a Well Completion Report on a form provided by the Putnam County Health Department. 4) The well driller shall abide by all conditions of the permit 5) During all well drilling operations the well driller shall take appropriate action to assure that any and all water and waste products from such well drilling operations be contained on this property and in such a manner as not to degrade or otherwise contaminate surface or groundwater.

APPROVED FOR CONSTRUCTION: This approval expires two years from the date issued unless construction of the well has been completed and inspected by the PCHD and is revocable for cause or may be amended or modified when considered necessary by the Commissioner of Health. Any revision or alteration of the approved plan requires a new permit. Well to be constructed by a water well driller certified by Putnam County.

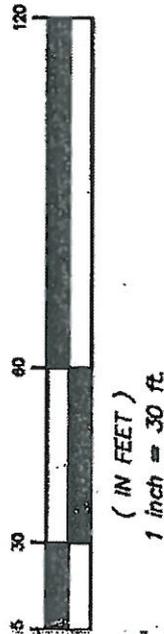
Date of Issue 8/19/15
Date of Expiration 8/19/17
Permit is Non-Transferable

Permit Issuing Official: [Signature]
Title: Director



DESCRIPTION	HYDROLOGICAL GROUP
8% to 15% slopes, very stony	B
2% to 8% slopes, very stony	C

GRAPHIC SCALE



28. The contractor shall contact Dig Safety New York at 811 and any other required utility locators prior to the start of construction.

29. The NYSDEC Wetland boundaries shown hereon were flagged by Bruce Barber on November 9, 2011. The wetland boundaries were surveyed located by Insite Engineering, Surveying & Landscape Architecture, P.C. on November 14, 2011. There shall be no 90° bends from the house to the septic tank, and from the septic tank to the distribution box / drop boxes.

30. Commercial septic tanks are to have an inlet baffle extending 1'-3" below the liquid level and an outlet baffle extending 1'-6" below the liquid level. If the precast concrete baffles do not extend to the required depths, the contractor is to install sanitary tees extending to the required depths.

45. The site was observed on July 7, 2015 at which time site conditions were comparable to those at the time of original approval.

NO.	DATE	REVISION	BY
1	7/21/15	REVISED FOR PCDOH RENEWAL	DJU

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT:

**SSTS & WELL FOR
HARTSHORN PROFESSIONAL PARK**

LUDINGTONVILLE ROAD, TOWN OF KENT, PUTNAM COUNTY, NEW YORK

DRAWING:

CONSTRUCTION DRAWING



PROJECT NUMBER	11157.100	PROJECT MANAGER	E.M.S.
DATE	3-30-12	DRAWN BY	C.M.R.
SCALE	1" = 30'	CHECKED BY	DJ
DRAWING NO.		SHEET	
CD-1		1 / 1	

Rev. 4/00

County of Putnam
DEPARTMENT OF HIGHWAYS & FACILITIES
842 Fair Street
Carmel, N.Y. 10512
(914)-878-6331

Application No 12-08
Co. Road No CR 43
Date 5/7/12

APPLICATION FOR PERMIT TO DO WORK
ON AND WITHIN A COUNTY ROAD AREA
(To be Executed in Duplicate)

Do Not Write In This Space
GRANTED
COUNTY OF PUTNAM
DEPARTMENT OF HIGHWAYS
DATE <u>5/7</u> 20 <u>12</u>
RECEIPT OF A BOND
IS ACKNOWLEDGED <input checked="" type="checkbox"/>
AMOUNT \$ <u>2500.00</u>

To the County of Putnam
Department of Highways & Facilities:

Application is hereby made for permission, under Section 136
Of the Highway Law, to enter upon, construct or open a road constructed
Or improved on the County Road System of Putnam County as follows:

1. Applicant: HARTSHORN PROFESSIONAL PARK, LLC
2. Address: 843 FARMERS MILLS ROAD, CARMEL, NY 10512 Phone No. 845-709-5596
3. Name of Road LUDINGTONVILLE ROAD, KENT Co. Rd. No. 43
(Name) (Town)
4. Location on Road 200' SOUTHEAST OF SIDDEL COURT ON SOUTH SIDE OF
LUDINGTONVILLE ROAD
5. Maximum size of opening 120'± Depth 13'± IN COUNTY R.O.W.
6. Date work to be started AUGUST 2012 Date to be completed NOVEMBER 2013
7. Is pavement to be disturbed YES If so, what type SHOULDER PAVEMENT
8. Purpose of Application PROPOSED 24'-WIDE PAVED DRIVEWAY FOR PROPOSED
CONTRACTOR'S BUSINESS
9. State Owner for whom work is being performed:
N/A (Owner) (Address)

STATE OF NEW YORK
COUNTY OF Putnam

being duly sworn, deposes and says that he is
an officer, namely viz:

(one of the partners)

of the Permittee herein named; that compensation has been secured
pursuant to the provisions of the Workmen's Compensation Law of the State of New York and the provisions of said law will be complied with during the life of
this permit and that no subcontractor will be permitted to do any work under this permit until he has fully and completely complied with all the terms and
provisions of the aforesaid law.

If permit is granted, I hereby agree to comply with all the terms, covenants and conditions hereinafter set forth which are attached to and form part of the permit
and to restore the road to its original condition, in accordance therewith.

Sworn to before me this

7th day of March 20 12

Alicia Hansen

Notary Public, County of Putnam

Kathy R. ... V. Pres.
Applicant's Signature & Title

THE PERMIT WILL BE GRANTED SUBJECT TO THE FOLLOWING TERMS
COVENANTS AND CONDITIONS
(OVER)

Alicia Hansen
Notary Public, State of New York
Reg. # 01246086470
Qualified In Dutchess County
Commission Expires January 23, 20 15

SPECIAL CONDITIONS

Approval and consent to grant the permit is hereby given by the duly authorized municipal representatives.

Name and Title _____ Municipality _____ Date 20____

(To be executed by Contractor if road is under construction)
I, the duly authorized representative of the Contractor, who is under contract for improvement of the road herein mentioned, do hereby approve the granting of the permit.

Name and Title _____ Firm or Corporation _____ Date 20____

If this application is accompanied by deposit, state name and address to whom refund is to made.

Name _____ Address _____

APPROVED FOR ISSUANCE
PUTNAM COUNTY DEPARTMENT
OF HIGHWAYS & FACILITIES

DATED MAY 29 2012

By [Signature]
Supervisor of Planning & Design

DATED 5/29 2012

By [Signature]
Commissioner of Highways & Facilities

- (1) The term "Commissioner" shall mean the County Commissioner of Highways and Facilities of the County of Putnam or his authorized representative.
- (2) The term "Permittee" shall mean the party obtaining the permit or his or its duly authorized agents or representatives.
- (3) The permit shall not be assigned or transferred except upon the written consent of the Commissioner.
- (4) The work authorized by the permit shall be done to the complete satisfaction of the Commissioner. The Standard County Specifications shall be followed.
- (5) Written notice except in emergencies shall be given by said Permittee to the Commissioner at least forty-eight (48) hours in advance of the date when the work or construction is to commence.
- (6) The Permittee shall indemnify and save harmless to the County, local municipality and improvement district from all claims, liens, suits, loss or damage of every kind whatsoever, whether direct or indirect, which may arise by reason of the granting of this permit.
- (7) The Permittee agrees, in consideration of the granting of the permit, that any present or future damage, injury to or disturbance of the highway, its pavement, slopes or gutters, caused by placing of any structure pursuant to the terms of the permit, shall be immediately repaired by the Permittee at his or its own expense to the satisfaction of the Commissioner.
- (8) The Permittee agrees to pay all necessary expenses that may be incurred by the County in connection with the work to be done under the permit, which payment shall be made within ten (10) days after the sending of a statement of expenses as certified by the Commissioner and, if not paid by the Permittee, the said expenses shall be deducted from the bond as herein otherwise provided for. The Commissioner may appoint an inspector to supervise said work on behalf of the County, which inspector shall be paid by the Permittee. The amount per inspection shall be specified by the Commissioner.
- (9) The Commissioner reserves the right to revoke or cancel the permit at any time should the Permittee fail to comply with any of the terms, agreements, covenants and conditions thereof.
- (10) A fully executed copy of this permit must be in possession of the parties actually doing the work. It must be exhibited on demand to the Commissioner or his representative.
- (11) The permit does not grant permission for connections to water or sewer mains, etc. Such permits must be obtained from the local municipality or improvement district prior to and in addition to permit for street opening applied for herewith.
- (12) Vehicular traffic shall be maintained on any section of the road disturbed by the Permittee at all times during the term of this permit.

**THE WORK TO BE DONE AND PERFORMED PURSUANT TO THE PERMIT SHALL BE DONE
ACCORDING TO THE FOLLOWING SPECIFICATIONS AND CONDITIONS:**

- (1) All locations and time of performing the work shall be approved by the Commissioner.
- (2) The Permittee shall arrange his work so as to cause a minimum of inconvenience and delay to vehicular traffic. The Commissioner may require complete removal of obstructions to traffic on Saturdays, Sundays and holidays. The Permittee shall erect and maintain suitable barricades and guard protection around all of his or its work while in progress. Warning signs or flags and suitably lighted red and yellow lights shall be provided and flag or guard personnel shall be provided if necessary. Excavated material shall be stored in neat piles, so placed as to cause the least interference with the use of roadways or sidewalks. Where the free flow of traffic is interfered with, the Permittee shall designate competent persons to expedite traffic by means of lights or flags, both red and white, and lanterns to aid in directing traffic. The Permittee shall place warning flags, signs and lights in accordance with the New York State Manual of Uniform Traffic Control Devices, or as ordered by the Commissioner. Yellow lights shall be used at night to designate the clear lanes for traffic.

Tight sheathing at least two (2) inches in thickness shall be placed in all trenches having a depth in excess of four (4) feet and within three (3) feet of any pavement or other highway structure which is proposed to remain in place except where excavation is in rock. Sheathing shall be securely fastened in place with walers and braces during all operations and shall be driven to a depth of one (1) foot below the lowest part of the structure proposed to be installed as the excavation progresses. In all such excavations having a depth in excess of six (6) feet, such sheathing shall be left in place with a cutoff line eighteen (18) inches below ground surface. In the trenches having a depth of more than three (3) feet and less than six (6) feet the sheathing shall be left in place if ordered by the Commissioner of Highways. Sheathing may be omitted when permitted by the Commissioner if the edge of the proposed trench is offset from the nearest edge of pavement or other structure by a distance at least equal to the vertical depth of the trench as measured from the highest point of the adjacent pavement or structure.
- (4) Backfilling around completed structures shall be made of selected material, free from loose stones, as soon as the structure has attained sufficient strength to preclude injury and shall be made in successive horizontal layers not exceeding six (6) inches in depth. Each layer shall be thoroughly compacted by tamping to the satisfaction of the Commissioner. For each man shoveling the backfill there shall be at least one man tamping. No frozen material shall be used in the backfill. Special care shall be taken to thoroughly compact the portion directly under the haunches, around the side and for a depth of one (1) foot over pipes or ducts. No rock shall be placed in the backfill within twelve (12) inches of a pipe or duct. No backfilling of trenches by scrapers or other machinery will be allowed except that on longitudinal trenches outside of the pavement limits. The use of power backfillers mounted on pneumatic tires may be used if provisions are made for adequate compacting of filled material. The work shall be so carried on that not over 500 linear feet of trench shall remain open at a time. Excavations under the pavement of a travel lane(s) of the highway shall be backfilled with control density backfill in accordance with the memorandum "Open Trench Road Crossings", which shall become part of the permit.
- (5) All surplus excavated material and debris shall be cleaned up and removed from the site of the work upon the completion of the work by the Permittee leaving the site of the work in a neat and orderly condition.
- (6) Where topsoil, seeded areas or sod are disturbed in the excavating the Permittee shall restore the ground surfaces to the original condition.
- (7) Manhole covers, frames and other structures placed within the roadway limits shall be of sufficient weight and strength and of a suitable type and stability approved by the Commissioner and shall be set flush with the surface of the pavement.

- (8) The Permittee shall repair and maintain at his or its expense any present or future disturbance of the roadway pavement which may have been caused by work done pursuant to the terms of the of the permit herein, said maintenance to cover a period of time satisfactory to the Commissioner after the completion of work.
- (9) All small pipes or conduits crossing roadway pavements shall, wherever possible, be driven beneath the pavement without disturbances to the surface. Such pipes or conduits shall be enclosed in sleeves or larger pipes so that required replacements may be made in the future without disturbance to the pavement. For the purpose of driving such pipes or conduits, no opening of trench shall be made closer than two (2) feet to the edge of pavement.

(10) RESTORATION OF PAVEMENT

- (a) Asphaltic (flexible) Paved Shoulders - Permanent restoration of the finished pavement shall not be made until complete settlement of the trench backfill shall have taken place, as directed by the Commissioner. Immediately after backfilling the trench, an acceptable temporary hot mix asphalt concrete or other acceptable flexible pavement shall be placed which shall be maintained even with the shoulder surface until permanent restoration of the pavement is ordered by and under the supervision of the Commissioner.
- (b) Asphaltic (flexible) Pavement in Travel Lanes- Repair shall be executed as indicated in the memorandum entitled "Open Trench Road Crossings", which shall become part of the permit.
- (c) Concrete (rigid) Pavement with Asphaltic Overlay in Travel Lanes- Repair shall be executed as indicated in the memorandum entitled "Open Trench Road Crossings", except that the concrete pavement shall be repaired to its original thickness with concrete and reinforcement as ordered and approved by the Commissioner.
- (11) Permittee shall replace or restore satisfactorily to the Commissioner of Highways any pavement or other structures which may have been damaged during the progress of the work for which the permit was issued even though such pavement or structure was not proposed to be disturbed at the time of the granting of the permit.

(12) STORING BUILDING MATERIALS AND EQUIPMENT ON COUNTY ROADS.

If in the course of building operations on adjacent property it becomes necessary to store building materials or equipment upon any County road or portion thereof, an application for a permit therefore must be made, subject to the following terms and conditions:

- (a) In no case shall the area of the pavement used for storage exceed in width twenty per cent of the total width of the pavement or in length one hundred (100) feet. Such materials or equipment as may be stored shall be neatly piled or placed, protected with adequate barricades and illuminated, except during daylight hours, with red or yellow flashing lights, spaced at intervals of not more than ten (10) feet. Appropriate warning signs and lights shall be kept constantly in position three hundred (300) feet distant from the space occupied as a warning to approaching vehicles.
- (b) No building material or equipment shall be placed upon the pavement closer than ten (10) feet to any hydrant nor upon any manhole, valve or catch basins, nor as to interfere in any way with proper drainage upon the highway.

(13) OPERATION OF HEAVY CONSTRUCTION EQUIPMENT ON COUNTY ROADS.

- (a) No construction equipment, excepting trucks shall operate on or be hauled over any County road unless same shall be equipped with pneumatic tires or mounted upon a pneumatic tired trailer unless a permit therefore shall have been first obtained from the Commissioner of Highways. Said permit shall not be construed as a waiver of the provisions of the Vehicle and Traffic Law or of any local ordinance relative thereto. Said permit shall provide among other things that:
- (b) Each such vehicle when operated on a County road shall be operated on planks, mats or other suitable cushion, acceptable to and approved by the Commissioner.
- (c) A competent flagperson shall at times be placed at least two hundred (200) feet distant from the operating equipment to warn approaching vehicles.
- (d) Adequate barricades and warning signs shall be erected to protect the traveling public.
- (e) Any damage resulting from the operation of the equipment shall be repaired by the Permittee to the satisfaction of the Commissioner of Highways.
- (14) SHADE TREES: No person, firm or corporation shall plant, remove, trim, or otherwise alter any shade tree or planting on a County road outside of cities or villages without first obtaining approval thereof in writing from the Commissioner of Highways.
- (15) EXCEPTIONS: Nothing in these rules and regulations shall be construed to restrict or prevent the construction, maintenance or repair of any sidewalk by a municipality under laws and ordinances applicable thereto except in those operations of construction, maintenance or repair where the use of any portion of a of the pavement of a County road is affected or restricted or to restrict or prevent the adoption and enforcement of local municipal traffic control ordinances, rules and regulations not inconsistent with the provisions of Chapter 605 of the laws of 1941.
- (16) The Permittee hereby deposits with the Commissioner a bond of \$ _____ as security for the faithful performance of all terms, covenants and conditions on his part to be done and performed, which said bond shall be retained by the Commissioner until a time specified by the Commissioner after the date of final completion and acceptance by the Commissioner of the work to be done and performed pursuant to the terms of this permit. Upon the failure or default by the Permittee of any terms, covenants, and conditions on his part to be done and performed said deposit may be used by the County of Putnam for any expense incurred by the County of Putnam by reason of such failure or default on the part of the Permittee. The Permittee agrees that such expenses as certified by the Commissioner shall be binding upon said Permittee.
- (17) The Commissioner by issuing this permit assumes no liability on his part or on the part of the County of Putnam and the Permittee shall be solely liable for all Acts done or to be done pursuant to same.
- (18) In addition to the above conditions, the Permittee shall conform to the following special requirements for the work permitted:

(OVER)



Cornerstone Associates

Environmental Consultants
1770 Central Street
Yorktown Heights, NY 10598
Phone: (914)-299-5293

September 15, 2015

To: Planning Board

From: Bruce Barber
Town of Kent Environmental Consultant

Re: **Hartshorn Professional Park Application**
Luddingtonville Road
Section 12 Block 1 Lot 88

Please be advised that this office conducted a site inspection at the above referenced property on August 25, 2015. The inspection revealed that the site work that has been accomplished to date within the Town of Kent jurisdictional wetland and wetland buffer comports with the approved wetland permit.

Please do not hesitate to contact me should you have any questions.

Sincerely,

Bruce Barber, PWS, Certified Ecologist
Town of Kent Environmental Consultant

Vera Patterson

From: Vera Patterson [planning@townofkentny.gov]
Sent: Tuesday, August 18, 2015 1:37 PM
To: 'Bruce Barber'; WRohde@rsaengrs.com; Bill Walters ; 'Neil Wilson'; Charles Sisto; Dennis Lowes; George Brunner; Glenna Wright; Janis Bolbrock; Michael McDermott; Philip Tolmach; Vera Patterson
Cc: 'Jamie Kieper'
Subject: FW: Morini Sedgewood - Request for Extension - FOR SEPTEMBER MEETING
Attachments: 4062_001.pdf

FYI, this will be put on the September agenda.

From: Jamie Kieper [mailto:JKieper@insite-eng.com]
Sent: Thursday, August 13, 2015 10:24 AM
To: Neil Wilson (nwilson.lrcplanning@gmail.com)
Cc: Michael McDermott; Vera Patterson, Town of Kent Planning Board Secretary; John Watson
Subject: Morini Sedgewood - Request for Extension

Neil,

Please see the attached pdf pertaining to the Request for Extension of the Conditional Steep Slopes and Erosion Control Permit Approval for Morini-Sedgewood. I can forward a hard copy to Vera if needed.

Thank you,
Jamie

Jamie L. Kieper, RLA
Project Landscape Architect

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, New York 10512
(845) 225-9690 Phone
(845) 225-9717 Fax
www.insite-eng.com



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August 12, 2015

Town of Kent Planning Board
Kent Town Centre
25 Sybil's Crossing
Kent Lakes, New York 10512

RE: Morini Residence
Erosion Control Permit
China Circle Court
Kent, NY 10512
Tax Map No. 42.8-1-2

Dear Chairman McDermott and Members of the Board:

At this time, we are requesting to be placed on the September 10, 2015 Planning Board agenda for an extension of Conditional Steep Slope and Erosion Control Permit Approval. Conditional Steep Slope and Erosion Control Permit Approval was granted on November 13, 2014 and will expire on November 13, 2015.

With regard to the conditions of the Planning Board Resolution, we offer the following:

1. It is our understanding that all comments from the Planning Board's Professional Engineer listed in the March 12, 2014 memorandum have been addressed.
2. Prior to the commencement of site work, the applicant understands that all erosion control measures shall be implemented as shown on the approved plans.
3. It is our understanding that Pursuant to Chapter 48 of the Town of Kent Code, construction activity with the Town of Kent shall be limited to Monday through Friday from 7:00 Am to 9:00 PM and Saturday and Sunday from 8:00 AM to 9:00 PM.
4. At the completion of construction, the applicant shall provide a certification prepared and sealed by a New York Licensed Professional Engineer to the Town Building Inspector and the Planning Board that all site work has been carried out and completed in substantial compliance with the approved Site Plan for the project. The applicant shall also provide to the Planning Board and the Town Building Inspector an "As-Built" survey of the completed development prepared and sealed by a New York Licensed Land Surveyor.
5. It is our understanding that all application fees and any review fees by the Planning Board during the review process have been paid to date. The inspection fee shall be submitted in the near future in the amount established by the Planning Board to cover the cost of construction and post-construction inspection by the Board's Professional Engineer, Wetland Consultant and Planning Consultant.
6. We will submit to the Planning Board proof that each of the conditions of the Approval have been completed and that the response to the comments have been completed to the satisfaction of the Planning Board's Professional Engineer. We understand that the chairman's signature shall be withheld until receipt of a written memorandum from the Planning Board's Professional Engineer verifying that each of the conditions of this Approval has been completed.
7. We understand that this conditional approval shall expire 12 months from the date of approval unless otherwise extended by the Planning Board upon express written request of the applicant prior to the date of expiration. By way of this letter, we express written request for an extension of the approval.

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

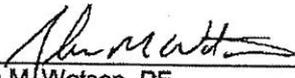
8. The applicant shall provide photographs of the stone chamber located near the proposed driveway. Said photographs shall be of sufficient quality and number to accurately document the pre-construction condition of the interior and exterior of the stone chamber with each photograph date-stamped as to the date and time taken.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


John M. Watson, PE
Principal Engineer

JMW/jlk
Enclosures

cc: Robert Morini

Insite File No. 03215.200



Cornerstone Associates

Environmental Consultants
1770 Central Street
Yorktown Heights, NY 10598
Phone: (914)-299-5293

September 15, 2015

To: Planning Board

From: Bruce Barber
Town of Kent Environmental Consultant

Re: **China Barrett Homeowner's Association**
Sedgewood Club
Section 42.11 Block 1 Lot 8

Please be advised that this office conducted a site inspection at the above referenced property on August 25, 2015. The inspection revealed that the wetland buffer was stable with adequate vegetative growth.

Please do not hesitate to contact me should you have any questions.

Sincerely,

Bruce Barber, PWS, Certified Ecologist
Town of Kent Environmental Consultant



**ROHDE, SOYKA
& ANDREWS**
Consulting Engineers, P.C.

40 Garden Street
Poughkeepsie, NY 12601
Phone: (845) 452-7515 Fax: (845) 452-8335
E-Mail Address: rsaengrs@bestweb.net

Wilfred A. Rohde, P.E. • Michael W. Soyka, P.E. • John V. Andrews, Jr., P.E.

FIELD REPORT

NO.:
BY: **Bill Rohde**
PROJECT: **China Barrett HOA**
 810 Golf Ridge Road
 TM 42.17-1-8

DATE: **Sept 11, 2015**
PRESENT AT SITE:
 Bill Walters, Building
 Inspector
 Jamie Kieper, Insite

CONTRACT: **Erosion & Sediment Control**
JOB NO.: **12-261-999-132**
WEATHER: **Partly Cloudy** **TEMP 78 .@ 2 AM PM**

This is to document a field visit conducted by me on the date indicated above. The following was noted:

Pursuant to Town Board Resolution #447 on December 16, 2014, a site inspection was made this date to verify that the site has been able to maintain full vegetative growth and to report same to the Town Planning Board. Accordingly, the release of the remaining \$48,770.00 on the Performance Bond is recommended.

* * *

Engineer **Wilfred A. Rohde, PE**

cc: **Planning Board**
Bill Walters

Jamie Kieper
Bruce Barber

via email.



**ROHDE, SOYKA
& ANDREWS**
Consulting Engineers, P.C.

40 Garden Street
Poughkeepsie, NY 12601
Phone: (845) 452-7515 Fax: (845) 452-8335
E-Mail Address: msoyka@rsaengrs.com

Wilfred A. Rohde, P.E. • Michael W. Soyka, P.E. • John V. Andrews, Jr., P.E.

Memorandum

To: Planning Board
Town of Kent

From: Michael W. Soyka, P.E.

Date: June 1, 2005

Attn: Arthur Singer
Chairman

Subject: Erosion Control Plan

Project: Excel Printing
TM #31.18-1-15

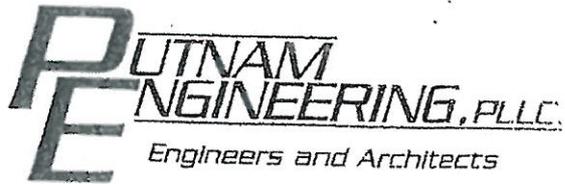
The erosion control plan for the above mentioned project is approved as noted. The bond was previously set at \$5,800.00. 

Michael W. Soyka

Michael W. Soyka, P.E.

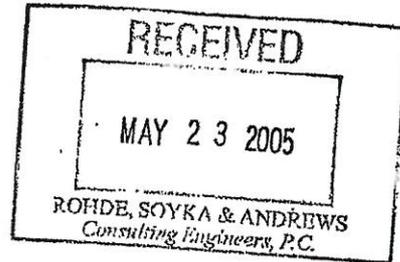
Encl: 4 sets of prints

cc: 04-261-120



May 12, 2005

Arthur Singer, Chairman
Town of Kent Planning Board
Sybil's Crossing
Kent Lakes, New York 10512



RE: Erosion Control Plan
Excel Printing
NYS Route 52 and Nichols Way
Tax Map #33.18-1-15

Dear Mr. Singer:

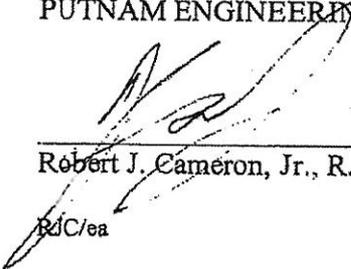
We are enclosing for your information and review, the following for the above referenced project:

- 1) Erosion Control Plan and Notes, Steep Slopes Plan, (EC-3) six (6) copies.
- 2) SEQRA Short Environmental Assessment Form, six (6) copies.
- 3) Review Fee, \$175.00. To be submitted under separate cover by the applicant.

Per my conversation with Jeanne the bond estimate has already been reviewed. It is therefore requested that the Erosion Control Plan and Bond be reviewed and approved at the earliest convenience of the Board. 

Very truly yours,

PUTNAM ENGINEERING, PLLC


Robert J. Cameron, Jr., R.A.

RJC/ea

Attachments

cc: Brad Schwartz

(L05207)



**ROHDE, SOYKA
& ANDREWS**
Consulting Engineers, P.C.

40 Garden Street
Poughkeepsie, NY 12601
Phone: (845) 452-7515 Fax: (845) 452-8335
E-Mail Address: rsaengrs@bestweb.net

Wilfred A. Rohde, P.E. • Michael W. Soyka, P.E. • John V. Andrews, Jr., P.E.

Memorandum

To: Planning Board
Town of Kent

Attn: Jeanne Ryan
Clerk

From: Michael W. Soyka, P.E.

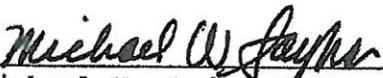
Subject: Erosion Control Plan
Steep Slope Permit

Date: February 11, 2005

Project: Excel Printing
TM #33.18-1-15

Please find enclosed the Final Site Plan set of drawings (7 sheets) for Excel Printing, all last revised on February 1, 2005 along with the Stormwater Management Report for Excel Printing, last revised in January 2005. The performance bond estimate for the steep slope permit dated February 11, 2005, in the amount of \$5,580.00, is forwarded as well. 

Reference is made to my memorandum of January 13, 2005 which listed certain items that required completion as a condition of final site plan approval. All of the conditions listed in that memorandum have been satisfied. The site plan is ready for signature by the Chairman of the Planning Board.



Michael W. Soyka, P.E.

cc: 04-261-120



**ROHDE, SOYKA
& ANDREWS**
Consulting Engineers, P.C.

40 Garden Street
Poughkeepsie, NY 12601
Phone: (845) 452-7515 Fax: (845) 452-8335
E-Mail Address: rsaengrs@bestweb.net

Wilfred A. Rohde, P.E • Michael W. Soyka, P.E • John V. Andrews, Jr., P.E.

Memorandum

To: Planning Board
Town of Kent

Attn: Arthur Singer
Chairman

From: Michael W. Soyka, P.E.

Subject: Erosion Control Plan
Steep Slope Permit

Date: February 11, 2005

Project: Excel Printing
TM #33.18-1-15

The subject project is a submittal for a Steep Slope Permit and an Erosion Control Plan. The Steep Slope Permit application was made in accordance with § 66-6.B. of the Kent Town Code. This permit application was referred to the Town Engineer in accordance with the provisions of § 66-6.C. of the Town Code. This written report is submitted accordingly:

1. The submission is complete and contains sufficient information for the Planning Board to perform a proper review of the submittal.
2. The performance bond amount is based on the erosion and sediment controls that are shown on drawing number S-2, Final Grading Plan (prepared for Excel Printing) dated September 23, 2004 and last revised on February 1, 2005.
3. The recommended performance bond is in the following amount:

ITEM	QUANTITY	UNIT COST	TOTAL COST
Silt fence	260 LF	\$1.75/LF	\$ 455.00
Seed and mulch	2750 SY	\$1.50/SY	4,125.00
Cons. Entrance	1 EA	\$1000.00/EA	1,000.00
		TOTAL:	\$5,580.00

Michael W. Soyka

Michael W. Soyka, P.E.

Enclosure

cc: 04-261-120



Cornerstone Associates

Environmental Consultants
1770 Central Street
Yorktown Heights, NY 10598
Phone: (914)-299-5293

September 15, 2015

To: Planning Board

From: Bruce Barber
Town of Kent Environmental Consultant

Re: Fichter Application
Beach Court
Section 21.13 Block 1 Lot 25

Please be advised that an inspection was conducted at the above referenced property on August 25, 2015. Inspection revealed that trees/vegetation have been removed within the limits of disturbance most closely located to Beach Court. This disturbance does not comply with the approved plan. In addition, the approved driveway and road drainage plan has not been installed in compliance with the plan.

It is recommended that the erosion bond not be released until the disturbed area is replanted with trees and vegetation as per Planning Board direction and the road/driveway drainage be completed to the satisfaction of the Planning Board engineer.

Please do not hesitate to contact me should you have any questions.

Sincerely,

Bruce Barber, PWS, Certified Ecologist
Town of Kent Environmental Consultant



August 19, 2015

Town of Kent Planning Board
25 Sybil's Crossing
Kent Lakes, New York 0512

RE: Patterson Crossing
NYS Route 311
Tax Map #22-2-48

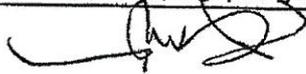
Dear Chairman McDermott and Members of the Board:

As you are aware, the above referenced project obtained the Site Plan and related approvals on October 9, 2014. The Resolution for Approval for the project allows the applicant to request two 90-day extensions of this approval. The applicant would request the 180 day extension at this time. Please schedule the project for the Board's September 10, 2015 meeting.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By: 
Jeffrey J. Contelmo, PE
Senior Principal Engineer
JJC/amh

Enclosures
cc: Fred Koelsch, CRI
Insite File No. 01124.100

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

081915tkpb.doc

8

Town of Kent Planning Board
Resolution Of Time Extension Pertaining To
Site Plan
Steep Slope and Erosion Control Permit
and
Freshwater Wetland Permit Approvals

Matter of Patterson Crossing Retail Development
Town of Kent / Town of Patterson

Whereas, on October 9, 2014 the Town of Kent Planning Board granted conditional Site Plan, Steep Slope and Erosion Control Permit, and Freshwater Wetland Permit approvals to allow the development of a ±382,560 square-foot retail center for a project known as Patterson Crossing Retail Development ("Project"); and

Whereas, said approvals are valid for one year from the date of approval, and may be extended by the Planning Board; and

Whereas, the Board has been advised that the applicant has made substantial progress in completing the conditions of the approvals, including obtaining other agency permits and approvals, although some work has yet to be completed including finalization of certain agreements between the Town and the applicant and posting of performance securities in accordance with said agreements;

Now Therefore Be It Resolved, pursuant to §77-61(C) of the Town Code the Planning Board hereby grants two ninety (90) day extensions, for a total of 180 days, forward from October 9, 2015 for the Site Plan, Steep Slope and Erosion Control Permit, and Freshwater Wetland Permit approvals for the Patterson Crossing Retail Development; and

Be It Further Resolved, that this resolution is an extension of time only to allow completion of the conditions of the approvals as set forth in the Board's resolution of October 9, 2014, said conditions remaining unchanged and in force and effect.

Motion: George Bunn

Second: Janis Bolbrach

Michael McDermott, Chairman

Aye

Vera Patterson

From: Neil Wilson [nwilson.lrcplanning@gmail.com]
Sent: Thursday, September 17, 2015 10:17 AM
To: barberbruce@yahoo.com; Bill Walters; Charles Sisto; Dennis Lowes; George Brunner; Glenna Wright; Janis Bolbrock; Julie Mangarillo; Michael McDermott; Phil Tomalch; planning@townofkentny.gov; Ron Blass; WRohde@rsaengrs.com
Subject: Patterson Crossing Time Extension
Attachments: Patterson Crossing Time Extension 091715.pdf

Attached is a proposed resolution for the Patterson Crossing time extension.

Neil A. Wilson, Esq.
LRC Planning Services, LLC
8 Morehouse Road
Poughkeepsie, New York 12603-4010
Tele: 845-452-3822
Fax: 845-452-3346

Town of Kent Planning Board
Resolution Of Time Extension Pertaining To
Site Plan
Steep Slope and Erosion Control Permit
and
Freshwater Wetland Permit Approvals

Matter of Patterson Crossing Retail Development
Town of Kent / Town of Patterson

Whereas, on October 9, 2014 the Town of Kent Planning Board granted conditional Site Plan, Steep Slope and Erosion Control Permit, and Freshwater Wetland Permit approvals to allow the development of a ±382,560 square-foot retail center for a project known as Patterson Crossing Retail Development ("Project"); and

Whereas, said approvals are valid for one year from the date of approval, and may be extended by the Planning Board; and

Whereas, the Board has been advised that the applicant has made substantial progress in completing the conditions of the approvals, including obtaining other agency permits and approvals, although some work has yet to be completed including finalization of certain agreements between the Town and the applicant and posting of performance securities in accordance with said agreements;

Now Therefore Be It Resolved, pursuant to §77-61(C) of the Town Code the Planning Board hereby grants two ninety (90) day extensions, for a total of 180 days, forward from October 9, 2015 for the Site Plan, Steep Slope and Erosion Control Permit, and Freshwater Wetland Permit approvals for the Patterson Crossing Retail Development; and

Be It Further Resolved, that this resolution is an extension of time only to allow completion of the conditions of the approvals as set forth in the Board's resolution of October 9, 2014, said conditions remaining unchanged and in force and effect.

Motion: _____

Second: _____

Michael McDermott, Chairman _____

Janis Bolbrock, Vice Chair

George Brunner

Phil Tolmach

Charles Sisto

Dennis Lowes

Glenna Wright

Date: _____

I certify that the above resolution was adopted by the
Town of Kent Planning Board at a meeting of the
Board on the date set forth above.

Vera Patterson, Clerk
Town of Kent Planning Board



**ROHDE, SOYKA
& ANDREWS**
Consulting Engineers, P.C.

40 Garden Street
Poughkeepsie, NY 12601
Phone: (845) 452-7515 Fax: (845) 452-8335
E-Mail Address: rsaengrs@bestweb.net

Wilfred A. Rohde, P.E. • Michael W. Soyka, P.E. • John V. Andrews, Jr., P.E.

FIELD REPORT

NO.:

BY: Bill Rohde

PROJECT: Lipkin Residence
85 Birch Point Ct
TM 32.1.35

DATE: Sept 11, 2015

PRESENT AT SITE:

Bill Walters, Building
Inspector
Jamie Kieper, Insite
Contractor

CONTRACT: Erosion & Sediment Control

JOB NO.: 12-261-999-136

WEATHER: Partly Cloudy

TEMP 78 .@ AM 2 PM

This is to document a field visit conducted by me on the date indicated above. The following was noted:

Walked around the house. Vegetative growth was found to be satisfactory throughout since last inspection 11-12-14.

It is recommended that the Town of Kent Erosion Control Permit be closed out and that a Notice of Termination be granted and be issued to NYSDEC.

* * *

Engineer

Wilfred A Rohde, PE

CC: Planning Board
Bill Walters

Jamie Kieper
Bruce Barber

via e-mail



November 4, 2014

Town of Kent Planning Board
Kent Town Centre
25 Sybil's Crossing
Kent Lakes, New York 10512

RE: Lipkin Residence
85 Birch Point Court
Kent, NY 10512
Tax Map No. 32.-1-35

Dear Chairman McDermott and Members of the Board:

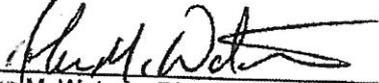
The above referenced project has been completed in general conformance with the latest approved site plan and it is therefore requested that the Town conduct its final stabilization inspection. Upon finding the project to be constructed in general accordance with the approved plans, and also confirming that the site is stabilized in accordance with the requirements of SPDES General Permit for Stormwater Discharges from Construction Activity Permit No. GP-0-10-001, we request the enclosed NYSDEC Notice of Termination be signed and the Project Bond be released.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:


John M. Watson, PE
Principal Engineer

JMW/jlk

Enclosures

cc: W. Ian Lipkin
Nate Lindsey
Richard Morini
Julie Mangarillo, PE
Bruce Barber

Insite File No. 12213.100

3 Garrett Place, Carmel, New York 10512 (845) 225-9690 Fax (845) 225-9717
www.insite-eng.com

110414pb.doc



New York State Department of Environmental Conservation
Division of Water
625 Broadway, 4th Floor
Albany, New York 12233-3505

(NOTE: Submit completed form to address above)

NOTICE OF TERMINATION for Storm Water Discharges Authorized
under the SPDES General Permit for Construction Activity

Please indicate your permit identification number: NYR 1 0 W 4 0 8

I. Owner or Operator Information

1. Owner/Operator Name: Walter Ian Lipkin

2. Street Address: 45 West 105th Street

3. City/State/Zip: New York, NY 10025

4. Contact Person: Walter Ian Lipkin

4a. Telephone: 212-342-9033

5. Contact Person E-Mail: llipkin@ms.com

II. Project Site Information

5. Project/Site Name: Lipkin Residence

6. Street Address: 85 Birch Point Court

7. City/Zip: Kent, NY 10512

8. County: Putnam County

III. Reason for Termination

9a. All disturbed areas have achieved final stabilization in accordance with the general permit and SWPPP.
*Date final stabilization completed (month/year): October 2014

9b. Permit coverage has been transferred to new owner/operator. Indicate new owner/operator's permit identification number: NYR _____
(Note: Permit coverage can not be terminated by owner identified in I.1. above until new owner/operator obtains coverage under the general permit)

9c. Other (Explain on Page 2)

IV. Final Site Information:

10a. Did this construction activity require the development of a SWPPP that includes post-construction stormwater management practices? yes no (If no, go to question 10E)

10b. Have all post-construction stormwater management practices included in the final SWPPP been constructed? yes no (If no, explain on Page 2)

10c. Identify the entity responsible for long-term operation and maintenance of practice(s)?

NOTICE OF TERMINATION for Storm Water Discharges Authorized under the
SPDES General Permit for Construction Activity - continued

10d. Has the entity responsible for long-term operation and maintenance been given a copy of the operation and maintenance plan required by the general permit? yes no N/A

10e. Indicate the method used to ensure long-term operation and maintenance of the post-construction stormwater management practice(s):

- Post-construction stormwater management practice(s) and any right-of-way(s) needed to maintain practice(s) have been deeded to the municipality.
- Executed maintenance agreement is in place with the municipality that will maintain the post-construction stormwater management practice(s).
- For post-construction stormwater management practices that are privately owned, the deed of record has been modified to include a deed covenant that requires operation and maintenance of the practice(s) in accordance with the operation and maintenance plan.
- For post-construction stormwater management practices that are owned by a public or private institution (e.g. school, college, university), or government agency or authority, policy and procedures are in place that ensures operation and maintenance of the practice(s) in accordance with the operation and maintenance plan.

10f. Provide the total area of impervious surface (i.e. roof, pavement, concrete, gravel, etc.) constructed within the disturbance area? 0.2 (acres)

11. Is this project subject to the requirements of a regulated, traditional land use control MS4? yes no
(If Yes, complete section VI - "MS4 Acceptance" statement)

V. Additional Information/Explanation:
(Use this section to answer questions 9c. and 10b., if applicable)

VI. MS4 Acceptance - MS4 Official (principal executive officer or ranking elected official) or Duty Authorized Representative (Note: Not required when 9b. is checked -transfer of coverage)

I have determined that it is acceptable for the owner or operator of the construction project identified in question 5 to submit the Notice of Termination at this time.

Printed Name:

Title/Position:

Signature:

Date:

NOTICE OF TERMINATION for Storm Water Discharges Authorized under the
SPDES General Permit for Construction Activity - continued

VII. Qualified Inspector Certification - Final Stabilization:

I hereby certify that all disturbed areas have achieved final stabilization as defined in the current version of the general permit, and that all temporary, structural erosion and sediment control measures have been removed. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings.

Printed Name: John M. Watson, PE Insite Engineering, Surveying & Landscape Architecture, P.C.

Title/Position: Principal Engineer

Signature: *John M. Watson*

Date: 11-3-14

VIII. Qualified Inspector Certification - Post-construction Stormwater Management Practice(s):

I hereby certify that all post-construction stormwater management practices have been constructed in conformance with the SWPPP. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings.

Printed Name: N/A

Title/Position:

Signature:

Date:

IX. Owner or Operator Certification

I hereby certify that this document was prepared by me or under my direction or supervision. My determination, based upon my inquiry of the person(s) who managed the construction activity, or those persons directly responsible for gathering the information, is that the information provided in this document is true, accurate and complete. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings.

Printed Name: WALTER IAN LIPKIN

Title/Position: OWNER

Signature: *Walter Ian Lipkin*

Date: NOV 4, 2014



Cornerstone Associates

Environmental Consultants
1770 Central Street
Yorktown Heights, NY 10598
Phone: (914)-299-5293

September 15, 2015

To: Planning Board

From: Bruce Barber
Town Environmental Consultant

RE: Lema Application
Section 33.18 Block 1 Lots 6,7,8,9
329 Route 52

Please be advised that I have conducted a review of the following pertinent documents submitted with respect to the above referenced project. My comments are as follows:

Documents Reviewed:

- Plans entitled; "Site Plan-Jose Lema, President 329 Route 52 Properties" prepared by John Karell, Jr., P.E., dated 04/21/15 (rev.), 2 sheets: S-1, S-2.
- Town of Kent Planning Combined Application Form executed by Jose Lema dated 04/20/15.
- Stormwater Pollution Prevention Plan and Infiltration Study prepared by John Karell, Jr., P.E., dated February 9, 2015.
- NYSDEC Notice of Intent dated 04/20/15, unsigned.
- Letter executed by Ruth L. Pierpont of NYS Office of Parks, Recreation and Historic Preservation dated 02/11/15.
- Short-form EAF dated 04/20/15, unsigned.

Summary of Project:

Application is to construct a 50' x 70' contractors warehouse with associated site improvements and remove four abandoned fuel tanks and a wooden platform. Parcel is reported to be 1.008 acres in size. A sewer connection is proposed.

Comments:

A site inspection was conducted by this office on August 25, 2015. The purpose of the site inspection was to field verify the Town of Kent wetland delineation as represented on the above referenced plans. The wetland boundary was found to be accurately represented. Please see the memo dated August 13, 2015 regarding review comments.

Please do not hesitate to contact me should you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to be the name 'Bruce Barber'. The signature is stylized with a large, looped 'B' and a cursive 'A'.

Bruce Barber, PWS, Certified Ecologist
Town of Kent Environmental Consultant

Vera Patterson

From: Vera Patterson [planning@townofkentny.gov]
Sent: Friday, August 21, 2015 10:42 AM
To: 'Edituhmike'; 'Bruce Barber'; WRohde@rsaengrs.com; 'Neil Wilson'
Subject: FW: Gypsy Trail Paddle Court
Attachments: gipsy trail lights.PDF

I got notes from Jack yesterday saying he wouldn't be able to submit anything yesterday and asked when the next deadline was and I told him Sept. 17th for October. I also reminded him that we needed the list of waivers. So do we put him on the September agenda, as he is requesting?

-----Original Message-----

From: john karell [mailto:jack4911@yahoo.com]
Sent: Thursday, August 20, 2015 4:46 PM
To: planning@townofkentny.gov; neil wilson
Cc: bruce barber; JULIE MANGARILLO
Subject: Gypsy Trail Paddle Court

At the last Planning Board meeting the Board deferred decision until Bruce could check out if any wetlands were an issue regarding this proposal. I just wanted to confirm that we are on the September meeting for consideration of approval as the Club wishes to start and finish this project before weather sets in.

Regarding other consultant comments:

1. Bruce Barber - had no other comments. We don't think wetlands are an issue since they are well over 100 feet away.
2. Mr. Rohde - he had minor comments which can be addresses administratively.
3. Neil Wilson - His only comment was relative to compliance with the requirements of Section 77 - 60 (F) (1 - 24) of the Town Code. I went over that section in detail and find as follows:

- 1 there are two location maps
- 2 plans were submitted of the structure for the paddle court
- 3 This item may need a waiver since the Club owns 1000 acres and property lines are not germane to this project.
- 4 not applicable
- 5 ex topo shown, proposed grade - no real changes, except above the 2 foot wall. I will extend the topo line toward the wall.
soil types and wetlands and watercourse indicated by note on left, no flood plains, no bedrock outcrops, no slopes in excess of 10% in project area, trees shown, none expected to come down.
6. , 7, 8 not applicable
9. I believe I showed all of this
- 10, 11, 12, 13 not applicable
- 14 Lighting is shown on the plans for the courts. Specifications and light spill plans are attached.
- 15, 16 not applicable
17. shown, only sub surface is footings for court.
- 18 no cut maybe 10 yards of fill
- 19 , 20 not applicable
- 21, 22 provided, 23 not applicable

It is hoped that at the next meeting we can gain Planning Board approval and remand final approval administratively to the consultants for minor details. As for the informational waiver if Neil has other items that he feels need waivering we certainly will request such waiver and provide justification satisfactory to the Board.

Thank you for your consideration.

John Karell, Jr., P.E.

AC3-16
SERIES

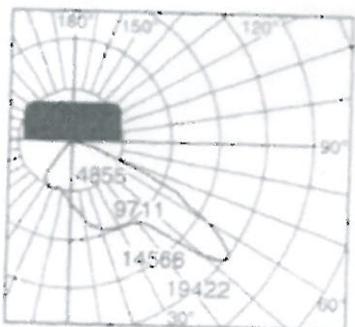
2" ADJUSTABLE FITTER

16" (406 mm) AREA CUTOFF LIGHT

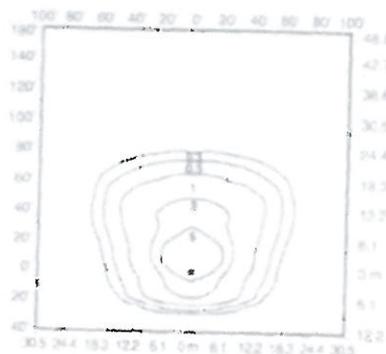
EPA RATING

EPA 0.93 for single fixture with 0° tilt (Consult factory for EPA rating on multiple units).

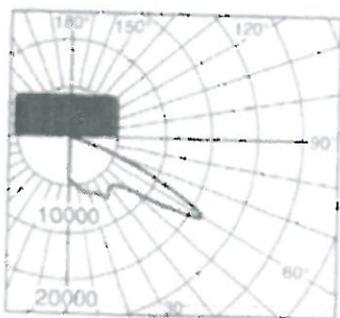
Isfootcandle plots show initial footcandles at grade. (Footcandles = 0.0929 - Lux)



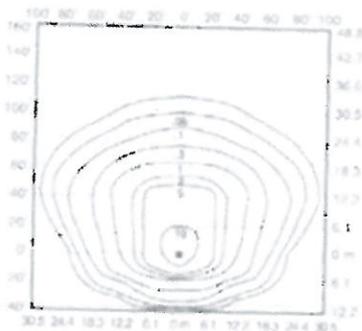
Candlepower distribution curve of 400W PSMH Area Cutoff Light without backlight shield.



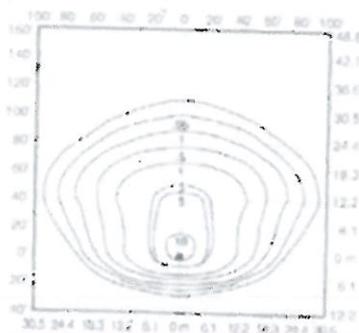
Isfootcandle plot of 400W PSMH Area Cutoff Light at 35' (9.1 m) mounting height, 0° vertical tilt, with backlight shield removed. (Plan view)



Lighting Sciences Inc.
Certified Test Report No. LSI 18248
Candlepower distribution curve of 250W HPS Area Cutoff Floodlight without backlight shield.



Isfootcandle plot of 400W HPS Area Cutoff Floodlight at 25' (7.6 m) mounting height, 0° vertical tilt, with backlight shield removed. (Plan view)



Isfootcandle plot of 400W HPS Area Cutoff Floodlight at 25' (7.6 m) mounting height, 6° vertical tilt, with backlight shield located for backlight cutoff. (Plan view)

Pole-spacing Example Data



Test area is setting with a 75-foot width

Average Initial Light Levels at Grade
2 Fixtures per pole @ 180°
(Footcandles = 0.0929 - Lux)

Catalog #	Lamp Type	Lamp Lumens	Mounting Height	Max. Recommended Pole-spacing X x Y	Average Initial Light Levels at Grade	
					Footcandles	Lux
AC3615-M	150W PSMH	12,000	15 (4.6 m) 20 (6.1 m)	60 (18.3 m) x 85 (25.9 m) 75 (22.9 m) x 110 (33.5 m)	3.56 2.11	38 23
AC3625-M	250W PSMH	27,000	20 (6.1 m) 25 (7.6 m)	75 (22.9 m) x 110 (33.5 m) 95 (29.0 m) x 140 (42.7 m)	3.88 2.31	42 25
AC3640-M	400W PSMH	40,000	25 (7.6 m) 30 (9.1 m)	95 (29.0 m) x 140 (42.7 m) 115 (35.1 m) x 165 (50.3 m)	4.20 2.86	45 31
AC3525-M	250W HPS	28,500	20 (6.1 m) 25 (7.6 m)	75 (22.9 m) x 110 (33.5 m) 95 (29.0 m) x 140 (42.7 m)	4.83 2.89	52 31
AC3540-M	400W HPS	50,000	25 (7.6 m) 30 (9.1 m)	95 (29.0 m) x 140 (42.7 m) 115 (35.1 m) x 165 (50.3 m)	5.08 3.37	55 36

**RUUD LIGHTING
DIRECT**

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